



OAK GLEN CREEK SPECIFIC PLAN

December, 2016



City of Yucaipa
Community Development Department
34272 Yucaipa Boulevard
Yucaipa, CA 92399

OAK GLEN CREEK SPECIFIC PLAN

Table of Contents

TABLE OF CONTENTS

	<u>Page</u>
SECTION I EXECUTIVE SUMMARY	
A. Project Summary	I-1
B. Land Use Districts and Roadways	I-3
C. Purpose and Intent	I-5
D. Specific Plan Format	I-6
E. General Plan Consistency	I-6
F. Relationship to Other Regulations	I-6
G. Discretionary Actions and Approvals	I-7
SECTION II INTRODUCTION	
A. Project Location and Overview	II-1
B. Project Description	II-1
1. Project-Wide Design Features	II-1
2. Land Uses	II-2
3. Landscaping	II-3
4. Adjoining Land Use Boundaries	II-4
5. Perimeter Streetscape	II-4
C. Project Goals and Objectives	II-13
SECTION III PROJECT SETTING	
A. Regional Setting	III-1
1. Surrounding Zoning and Potential Development	III-1
2. Regional and Area Circulation	III-2
B. Environmental Setting	III-11
1. Physical Site Setting	III-11
2. Biological Setting	III-11
3. Cultural Setting	III-12
4. Hydrology/Flood Plain Setting	III-13
5. Geologic Setting	III-13
SECTION IV SPECIFIC PLAN	
A. Land Use Area Descriptions and Improvement Features	IV-1
1. Residential District	IV-1
2. Innovation District	IV-2
3. Open Space	IV-3
4. Project Roadways/Driveways	IV-5

OAK GLEN CREEK SPECIFIC PLAN

Table of Contents

B.	Improvement and Design Standards	IV-6
1.	Project-Wide Standards and Criteria	IV-7
2.	Land Use Development Standards and Design Criteria	IV-11
a)	Residential District Development Standards	IV-11
b)	Innovation District Development Standards	IV-12
c)	Open Space Development Standards	IV-13
3.	Circulation Plan and Design Standards	IV-15
4.	Drainage Plan and Design Standards	IV-23
5.	Water, Sewer, and Recycled Facilities Plan and Design Standards	IV-25
6.	Grading Plan and Design Standards	IV-31
7.	Site Maintenance Plan	IV-32
C.	Processing Procedures	IV-33
1.	Specific Plan Approval Procedures	IV-33
2.	Subsequent Development Plan Approval Procedures	IV-33
3.	Determination of Plan Consistency	IV-34
D.	Implementation Plan	IV-35
1.	Financing Methods	IV-35
2.	Proposed Phasing	IV-35
3.	Maintenance of Public and Private Facilities	IV-36

SECTION V DESIGN GUIDELINES

A.	Land Use Area Descriptions and Design Features	V-1
1.	Residential District	V-1
2.	Innovation District	V-1
B.	Landscape Design Criteria	V-3
C.	Sign Design Criteria	V-4
D.	Wall Design Criteria	V-5

SECTION VI GENERAL PLAN ANALYSIS

A.	General Plan Map Features	VI-1
B.	General Plan Goals and Policies	VI-1

OAK GLEN CREEK SPECIFIC PLAN

Table of Contents

LIST OF FIGURES

Figure	Title	Page
SECTION II INTRODUCTION		
II-1	Regional Map	II-7
II-2	Vicinity Map	II-9
II-3	Land Use Plan	II-11
SECTION III PROJECT SETTING		
III-1	Aerial Photograph	III-3
III-2	Land Use Districts	III-5
III-3	General Plan Circulation Map	III-7
III-4	Multi-Purpose Trails	III-9
III-5	General Plan Flood Plain Safety Network	III-15
III-6	General Plan Bikeway Network	III-17
SECTION IV SPECIFIC PLAN		
IV-1	Land Use and Circulation Plan	IV-17
IV-2	Roadway Cross Sections – Collector and Secondary	IV-19
IV-3	Roadway Cross Sections – Local	IV-21
IV-4	Water, Sewer, and Recycled Facilities Plan and Design Standards (Northeast Area)	IV-27
IV-5	Water, Sewer and Recycled Facilities Plan and Design Standards (Southwest Area)	IV-29
SECTION V DESIGN GUIDELINES		
	Residential Designs	V-7-15
	Commercial Designs	V-19-25
	Signs	V-29-31
	Wall Design	V-33

OAK GLEN CREEK SPECIFIC PLAN
Table of Contents

LIST OF TABLES

Table Title	<u>Page</u>
SECTION II INTRODUCTION	
II-1 Statistical Abstract	II-4
SECTION IV SPECIFIC PLAN	
IV-1 Detailed Land Use Summary	IV-6
IV-2 Allowed Land Uses	IV-10
IV-3 Specific Plan Development Standards	IV-14
SECTION V SPECIFIC PLAN DESIGN GUIDELINES	
V-1 Innovation District Style and Design Criteria	V-2

I. EXECUTIVE SUMMARY

A. PROJECT SUMMARY

The Oak Glen Creek Specific Plan (Specific Plan) provides design criteria and standards to achieve a high quality development with single family residential, institutional, office, medical, and open space uses that are compatible with surrounding development and reflective of the need for regional flood control and drainage facilities. The principle purpose of the **Specific Plan** is to control storm water flows from Wilson Creek and Oak Glen Creek in such a manner that land can be made available for private development to occur over the northerly portion of the project site once ownership transitions from the San Bernardino County Flood Control District to the City of Yucaipa and preliminary infrastructure improvements are completed. **The Specific Plan** is approximately 115.7 acres in size and includes approximately 47.7 acres for Single Family Residential Uses on 7,200 sq. ft. lots, approximately 57.6 acres of Open Space, and approximately 6.7 acres of Innovation District permitting Institutional, Office, and Medical Uses. Open Space areas include flood control improvements and rights of way, and open space and recreation improvements in Oak Glen Creek and Wilson Creek. Major street improvements will include extending 2nd Street to the south. The subject property is generally located south of Oak Glen Road, west of Bryant Street and east and west of 2nd Street, in the northerly portion of the City of Yucaipa, San Bernardino County. The project site is irregularly shaped with 11 parcels, four of which are west of 2nd Street and seven are east of 2nd Street. Please refer to Figure II-1, *Regional Map* and Figure II-2, *Vicinity Map*, for information on project location. Refer to Figure II-3, *Land Use Plan* for information on land use distribution and street layout, and proposed drainage improvements.

Ownership Pattern

The Oak Glen Creek Specific Plan is primarily located on land owned by the San Bernardino County Flood Control District and includes seven of the existing 11 parcels. One parcel is owned by the City of Yucaipa and includes its existing City Maintenance Yard. The balance of the land area consists of one privately owned parcel west of 2nd Street, generally located south of existing residential development, with the two most remaining parcels owned by Yucaipa Valley Water District adjacent to 2nd Street and Bryant Street. To provide for future development the parcels north of Oak Glen Creek would require a change in ownership from the San Bernardino County Flood Control District, City of Yucaipa, and other private owners to private developers, while the balance of the land would be maintained by the Flood Control District for the realignment of Wilson Creek and the improvement of Oak Glen Creek drainage and open space uses. The Flood Control District and Yucaipa Valley Water District, which has a well site on the property, would continue to maintain ownership within that portion

OAK GLEN CREEK SPECIFIC PLAN

Executive Summary

of the property affected by Oak Glen Creek. However, the City of Yucaipa would also be responsible for those portions of Oak Glen Creek that would involve recreational related uses and facilities, principally at the easterly end of the Creek.

Purpose of Specific Plan

The purpose for utilizing a **Specific Plan** for the project site is to provide enhanced design requirements, thereby ensuring greater compatibility with surrounding residential uses. The Master Developer shall be responsible for the installation of site improvements, such as roadways and drainage facilities. The City of Yucaipa would undertake these actions, if it so chooses.

This **Specific Plan** provides a roadmap for the City of Yucaipa and future users to follow in the development of the property by detailing the land uses, improvement requirements, design details, and development review criteria that development proposals must comply with prior to operating. While this **Specific Plan** graphically displays or delineates some of the criteria that must be met, it does not contain the level of detail normally associated with a site plan or subdivision application. As such, subsequent development approvals will be necessary from the City's Planning Commission and/or City Council prior to requesting building permits for construction.

Project Design Modifications

The **Specific Plan** concept for the proposed project has evolved over time to reflect the desires of neighborhood residents. The original Specific Plan concept was intended to provide an employment base for local residents utilizing a Business Park development design that would reduce commuting times and provide a clientele for local businesses. This was subsequently modified to reflect a mostly single family residential design, including an expansion of the **Specific Plan** area to the west to include additional residential areas and an extended outflow channel for Oak Glen Creek. A further change in design occurred upon receipt of comments provided at the public Scoping Meeting for the Notice of Preparation on the Environmental Impact Report (EIR). This input resulted in the elimination of Eucalyptus Avenue as a through street between 2nd Street and Bryant Street. In addition, internal street connections will be provided to 2nd Street and at Oak Glen Road where it currently intersects with Sunnyside Drive. Access to the easterly side of the project area, adjacent to Bryant Street, and planned as part of the Innovation District, will be provided by a short roadway in the alignment of Eucalyptus Avenue.

OAK GLEN CREEK SPECIFIC PLAN

Executive Summary

The Oak Glen Creek Specific Plan contains following major components:

- Approximately 47.7 acres of Residential District Land Uses.
- Approximately 6.7 acres for Innovation District land uses that include Institutional, Office and Medical Land Uses.
- Approximately 57.6 acres for Open Space Land Uses. This area includes Wilson Creek flood control right of way and proposed drainage facilities, retention basin, and recreational facilities within the existing Oak Glen Creek.
- Wilson Creek will be realigned and channeled, and included as part of the Open Space District.
- Passive and active recreational features will be maintained by the City within the Open Space area encompassing Oak Glen Creek.
- 2nd Street will extend southerly through Oak Glen Creek, but terminate as a cul-de-sac near the southerly side of the Specific Plan boundary on the south side of the Creek. The cul-de-sac will utilize the westerly embankment of the detention basin planned within the Creek.
- The existing City Maintenance Yard, at the southeast corner of the intersection of 2nd Street and Oak Glen Road, is intended to be relocated, possibly within the Innovation District portion of the property, east of realigned Wilson Creek.

B. LAND USE DISTRICTS AND ROADWAYS

Three separate land use districts are proposed. In general, the Residential District and Innovation District areas are located north of Oak Glen Creek. The Open Space District generally encompasses the most southerly portion of the property, including realigned Wilson Creek and the basin discharge channel easterly of 2nd Street. The Innovation District includes the one parcel easterly of realigned Wilson Creek, north of the planned Open Space area and adjacent to Bryant Street, south of the limited extension of Eucalyptus Avenue. The general features of each land use district are described below.

Residential District

The Residential District will utilize the City's existing Single Residential (RS-72C) development requirements to provide for 200 single family residences on 7,200 sq. ft. lots. The Residential District is separated into two separate geographic areas located east and west of 2nd Street. The principle roadways providing access to this area are existing 2nd Street and Oak Glen Road. That portion of the Residential District east of 2nd Street will be accessible to both 2nd Street and Oak Glen Road through the establishment of new interior roads, but no direct lot access will be permitted from these streets. The future internal street design for both residential areas has been proposed as part of the land use plan to assist future developer interest and is displayed on *Figure II-3, Land Use Plan*.

OAK GLEN CREEK SPECIFIC PLAN

Executive Summary

Vehicular access to Oak Glen Road from the Residential District will align with Sunnyside Drive.

Residential development standards are incorporated by reference from the City's existing RS-72C District. Additional design criteria have been added as part of this **Specific Plan** related to use of materials, architectural style, and sample exhibits. The establishment of interior roadway designs within the RS-72C must meet current City design standards and are subject to approval through the City's subdivision map process.

Innovation District

The Innovation District (ID) encompasses a variety of uses in the northerly portion of the project site and encompasses approximately 6.7 acres. This area would be designed to provide the following general uses and features:

- Institutional, office, medical, and professional related uses in multiple buildings dispersed throughout the land use area.
- 20,000 square feet of office building, plus accessory and storage buildings.
- Building heights up to 45 feet and four (4) stories.
- On-site parking and access isles for employees and visitors.
- Landscaping along perimeter streets, adjacent to buildings, and within parking areas.
- Buildings arranged in a cohesive manner with a compatible design features.
- Potential educational facilities/learning centers related to habitat programs and the promotion of environmental awareness may occur on the parcel adjacent to Bryant Street.

Open Space Land Use Area

Significant portions of the project site are currently located within a 100-year flood plain due to the existence of Wilson Creek and Oak Glen Creek traversing the northerly and southerly portions of the property, respectively. The project would realign Wilson Creek into a curvilinear north/south alignment and discharge into Oak Glen Creek along the northerly boundary of the Open Space District. The realigned portion of Wilson Creek Channel and the southerly portion of the project site containing Oak Glen Creek would be designated Open Space on the City's Land Use Districts Map. The Open Space designation would total approximately 57.6 acres. Oak Glen Creek would contain a single retention basin design and other drainage features intended to reduce the rate of storm water flow through the site, as well as retain a portion of the storm water flow for replenishment of the groundwater basin. Both passive and active recreational features, including multi-purpose trails, benches, and tables would be installed north of the basin and in the easterly portion of Oak Glen Creek to provide a dual

OAK GLEN CREEK SPECIFIC PLAN

Executive Summary

use for the area. A landscape buffer of large trees would also be provided north of the basin to provide for shade along the planned multi-purpose trail.

Roadway Improvements

The project would be responsible for constructing 2nd Street, along with any interior roadways and private driveway aisles proposed and approved as part of future development plans. Major roadways adjoining the property, such as Oak Glen Road and Bryant Street, are fully improved and require no further construction.

C. PURPOSE AND INTENT

This **Specific Plan** establishes guidelines for the development of the project area. A Specific Plan is an administrative and design tool authorized by the *California Government Code* §65450 et. seq. to implement adopted General Plan policies through a mechanism that allows for the creation of unique planning criteria. In addition, a Specific Plan document can provide for the establishment of design standards and guidelines that are necessary to meet project needs and site characteristics. As such, a Specific Plan allows the City of Yucaipa to formulate development criteria different than other projects and/or incorporate existing City-wide development requirements, when applicable.

The State of California allows jurisdictions to adopt Specific Plans utilizing either a resolution or ordinance depending upon their desire for a policy document (by resolution) or a regulatory document (by ordinance). The City of Yucaipa utilizes Specific Plans as policy documents, and therefore, will adopt this document by resolution. The City of Yucaipa provides a one-map system that identifies both General Plan Land Uses and Zoning Districts. The newly adopted General Plan also identifies the area as the *Oak Glen Creek Specific Plan* on the Land Use Modifications Overlay Districts exhibit map. As such, this **Specific Plan** is identified on the City's adopted Land Use Districts Map and would be consistent with and implement the General Plan.

All future development plans, including subdivision maps, site plans or other entitlement procedures for development identified within this **Specific Plan**, shall be consistent with the regulations set forth in this document and all other applicable City regulations. In addition, all regulations, programs, and conditions of approval contained within this text or required through the City's approval process shall be considered distinct and separate provisions of this **Specific Plan**. Therefore, if any provision of this **Specific Plan** is held to be invalid by a decision of a court of competent jurisdiction, such action shall not affect the balance of the document.

OAK GLEN CREEK SPECIFIC PLAN
Executive Summary

D. SPECIFIC PLAN FORMAT

The **Oak Glen Creek Specific Plan** has been developed as a document that combines both specific design standards, as well as guidelines for development. These provisions are illustrated in six (6) distinct sections. Section **I EXECUTIVE SUMMARY** provides an overview of the project design, features, procedures, and general provisions. Section **II INTRODUCTION** provides a project description, an overview of project design features and land uses, and project goals and objectives. Section **III PROJECT SETTING** describes the physical surroundings of the project site and general environmental issues affecting the site. Section **IV SPECIFIC PLAN** describes the project in detail and sets forth improvement standards and regulations for the project, including land use and building criteria, circulation, infrastructure, grading, phasing, and maintenance provisions. Section **V DESIGN GUIDELINES** provides building design, landscaping, and sign guidelines, which have been established to ensure that the project maintains a consistent character and a high aesthetic quality. Section **VI GENERAL PLAN ANALYSIS** provides a discussion of how the project will implement the goals and policies of the existing City of Yucaipa General Plan.

E. GENERAL PLAN CONSISTENCY

The various land uses permitted by this **Specific Plan** would be consistent with the goals, policies, and general land uses described in the City of Yucaipa General Plan, once amended by changing the Land Use Districts Map for a portion of the site from Institutional, Rural Living (RL-1, One acre minimum lot size), and Single Residential (RS-72C, 7,200 sq. ft. minimum lot size) to Residential District (RS), Innovation District (ID), and Open Space (OS). Section **VI GENERAL PLAN ANALYSIS** provides an analysis of the project's consistency with the goals and policies of the City's General Plan.

F. RELATIONSHIP TO OTHER REGULATIONS

This **Specific Plan** provides the reader with information to determine which City policies, standards, and programs are applicable to the development of this site. Circumstances not specifically covered by this **Specific Plan** are governed by City regulations existing at the time of project approval. No provision of this document is intended to repeal, abrogate, annul, impair, or interfere with any existing City ordinance, except as specifically provided by the adoption of this **Specific Plan**.

Whenever the provisions of this **Specific Plan** impose or establish more restrictive regulations than those imposed by any City ordinance, code, or regulation, the provisions of this document shall govern. The stipulations of this document are not intended to interfere with or abrogate any easements, covenants, or other existing agreements that are more restrictive than this

OAK GLEN CREEK SPECIFIC PLAN
Executive Summary

document. Implementation and administration of this **Specific Plan** shall be as specified in the text of the document.

G. DISCRETIONARY ACTIONS AND APPROVALS

The City of Yucaipa is the Lead Agency for the project, under whose authority this **Specific Plan** document has been prepared. This document will be used by the following public agencies in connection with the following decisions:

1. City of Yucaipa Planning Commission

- Recommend the City Council Certify the Final Environmental Impact Report.
- Recommend the City Council adopt the Specific Plan document.

2. City of Yucaipa City Council

- Certify the Final Environmental Impact Report.
- Adopt the recommended Specific Plan document by Resolution.

OAK GLEN CREEK SPECIFIC PLAN

Section II Introduction

II. INTRODUCTION

A. PROJECT LOCATION AND OVERVIEW

The Oak Glen Creek Specific Plan consists of approximately 115.7 acres in the north central portion of the City of Yucaipa, San Bernardino County, California, as shown on Figure II-1, *Regional Map*, and Figure II-2, *Vicinity Map*. The subject property is generally located south of Oak Glen Road, west of Bryant Street and east and west of 2nd Street, in the northerly portion of the City of Yucaipa, San Bernardino County. The project will include the construction of 2nd Street to the south through Oak Glen Creek along the embankment of the planned retention basin, where it will cul-de-sac near the south side of the Creek.

Three land distinct uses are proposed, the most prominent of which is the Open Space District encompassing Wilson Creek and Oak Glen Creek along the southerly boundary. The northerly portions of the site located both east and west of 2nd Street, containing approximately 47.7 acres of the site, excluding interior streets, is designated Single Residential (RS-72C) and intended for 7,200 sq. ft. minimum parcels. The balance of the project site, encompassing two parcels north and south of Oak Glen Creek, is designated Innovation District and would include employment related uses, including institutional, office and medical related uses.

B. PROJECT DESCRIPTION

1. Project-Wide Design Features

The project site is currently traversed by several drainage courses through the northerly and southerly portions of the site. **The Oak Glen Creek Specific Plan** is intended to take advantage of the proposed realignment of Wilson Creek across the northerly portion of the property to provide for the development of single family residential uses and institutional, office, and medical uses that will employ comprehensive development standards and require high quality design features. Oak Glen Creek encompasses the southerly portion of the site and will remain as an open space area, but will be improved to provide a more efficient trapezoidal channel design and retention basin, thereby increasing storm water retention capability, groundwater recharge, and recreational opportunities.

The proposed residential areas are intended to provide compatibility with surround single family neighborhoods, with potential institutional uses located along the periphery adjacent to Bryant Street and easterly of Wilson Creek Channel adjacent to a church and water reservoir. The project area is located adjacent to several fully improved master planned Secondary Highways and is in the close proximity to commercial uses at the intersection of Oak Glen Road and

OAK GLEN CREEK SPECIFIC PLAN

Section II Introduction

Bryant Street. The site is generally separated from adjoining residential areas to the west by 2nd Street and to the south by Oak Glen Creek.

Primary access to the site will be provided by a connection to 2nd Street and Oak Glen Road. A preliminary subdivision design has been provided utilizing a grid arrangement connecting with 2nd Street and a single connection point at Oak Glen Road and Sunnyside Drive. These interior streets would be designed as a standard Local Street design, 60 feet right of way, or a modified 50 feet right of way, depending upon conditions. An additional limited use roadway is planned along the east side of Wilson Creek to provide access to the designated Innovation District site north of the prolongation of Eucalyptus Avenue in the event the area is used as the City Yard.

2nd Street will also be extended south of projected Eucalyptus Avenue along the top of the embankment of the new Oak Glen Creek retention basin where it will terminate as a cul-de-sac. 2nd Street north of projected Eucalyptus Avenue is planned as a 66-foot right of way, but south of projected Eucalyptus Avenue it will transition to a 60-foot right of way. The planned RS District located west of 2nd Street has the potential to be designed with a loop street due to its rectangular configuration. As such, several access roads would intersect with 2nd Street.

Several multi-purpose trails are proposed through the project site to provide access to proposed recreational uses and to connect with existing bike and trail facilities. A multi-use trail is intended along Wilson Creek Channel from Oak Glen Road and would represent a continuation of the existing trail north of Oak Glen Road. The trail would be owned and maintained by San Bernardino County Flood Control District. The Flood Control District would have the final determination as to the actual development, operation, and maintenance of this trail. An additional multi-use trail through the project site, as displayed on the City of Yucaipa General Plan, Figure III-4, *Multi-Purpose Trails*, extends along the north side of the flood control basin from 2nd Street to Bryant Street and would provide a link to existing trails on the west side of 2nd Street. The trail would also connect with a Class II Bike Lane on Bryant Street, as displayed on the General Plan, Figure III-6, *General Plan Bikeway Network*.

2. Land Uses

The Oak Glen Creek Specific Plan is intended to provide for approximately 115.7 acres of developable land for single family residential, institutional, educational, medical, professional, and open space related uses. It is estimated that up to 200 single family dwelling units within the Residential portion of the property and 20,000 square feet of office building area, not including any accessory and storage buildings within the Innovation District, could occupy the non-Open Space portion of the property. Actual Land Use acreages may vary depending upon the final engineering design of the various drainage facilities

OAK GLEN CREEK SPECIFIC PLAN

Section II Introduction

located within the designated Open Space Land Use area. Please refer to Figure II-3, *Land Use Plan* for a general layout of the planned land uses.

a) *Innovation District*

The build-out of the Innovation District portion of the site is intended to allow for a variety of institutional, office, medical, and professional related uses. This portion of the project site will allow single as well as multi-story structures. Multiple structures could occur to provide for a variety of small and medium sized businesses, although a single large user might be located at each location as well. Development of this area could include the preparation, filing, and subsequent approval of a subdivision map to provide for separate ownerships within this portion of the site. Building heights would be limited to 45 feet, consistent with the City's existing General Commercial District. The City Yard is currently located at the northwest corner of the project site. The most southerly Innovation District parcel could include an educational facility/learning center for habitat related programs and the promotion of environmental awareness.

b) *Open Space*

The project site represents an important link in the City's flood control system. Upstream and downstream facilities exist to collect and convey storm water flows through the City. This portion of the drainage system will link with and expand upon the existing system by ensuring adequate channel capacity for storm water flows, while increasing the system's retention capability to collect water for percolation into the groundwater basin utilizing a single detention basin and a meandering stream. The southerly portion of the project site, encompassing Oak Glen Creek and associated recreational features, would be designated Open Space, along with that portion of Wilson Creek within the project site north of Oak Glen Creek and south of Oak Glen Road. Recreational uses compatible with these improvements are planned within Oak Glen Creek, including areas newly revegetated with native plant species, trails, benches, and tables for passive recreational uses.

3. Landscaping

The landscape design within the Innovation District is intended to provide an attractive streetscape, accentuate building design, and provide parking lot shading. Landscaping materials and design features located along perimeter streets and along the northerly side of the basin are intended to provide visual relief for surrounding residents.

OAK GLEN CREEK SPECIFIC PLAN
Section II Introduction

Table II-1
Statistical Abstract

Land Use Areas	Acres¹	Potential Building Area² or Dwellings
Residential District	47.7	200 dwellings
Innovation District	6.7	20,000 sq. ft. ³
Open Space District	57.6	N/A
2 nd Street Roadway Extension and Eucalyptus Avenue cul-de-sacs	3.7	N/A
Total	115.7	20,000 sq. ft. and 200 dwelling units ⁴

¹ Acreage calculations reflect approximate net area and may vary depending upon final engineering designs. The Wilson Creek Channel right of way and has been included within the designated Open Space area.

² The number of dwelling units for the Residential District was estimated based upon the amount of land available and the General Plan density factor of 4.2.

³ The potential square footage is based upon 10,000 square feet of building area within each separate Innovation District site.

⁴ Maximum cumulative building square footage allowed for the entire project site.

4. Adjoining Land Use Boundaries

Land uses to the northeast of the Innovation District development area will be partially separated from the site by the realignment of Wilson Creek. Some land uses in the easterly portion of the project area will abut an existing church, water reservoir, and fire station. Due to the site configuration of this **Specific Plan** it is likely that private parking areas would abut church parking and potential athletic fields, thereby minimizing potential noise impacts between land uses. A multi-use trail fence is permitted along a portion of the adjoining property line to distinguish ownership boundaries.

The proposed residential areas will adjoin existing off-site single family development along 2nd Street and north of the prolongation of Eucalyptus Street.

5. Perimeter Streetscape

The design of the perimeter portions of the project site along Oak Glen Road and 2nd Street will vary based upon City requirements and project objectives. The landscaping along Oak Glen Road will provide consistency with the City’s scenic highway design standards along the entire project frontage. The landscape features along Oak Glen Road will also include **Oak Glen Creek Specific Plan** project signage identifying the project area.

OAK GLEN CREEK SPECIFIC PLAN

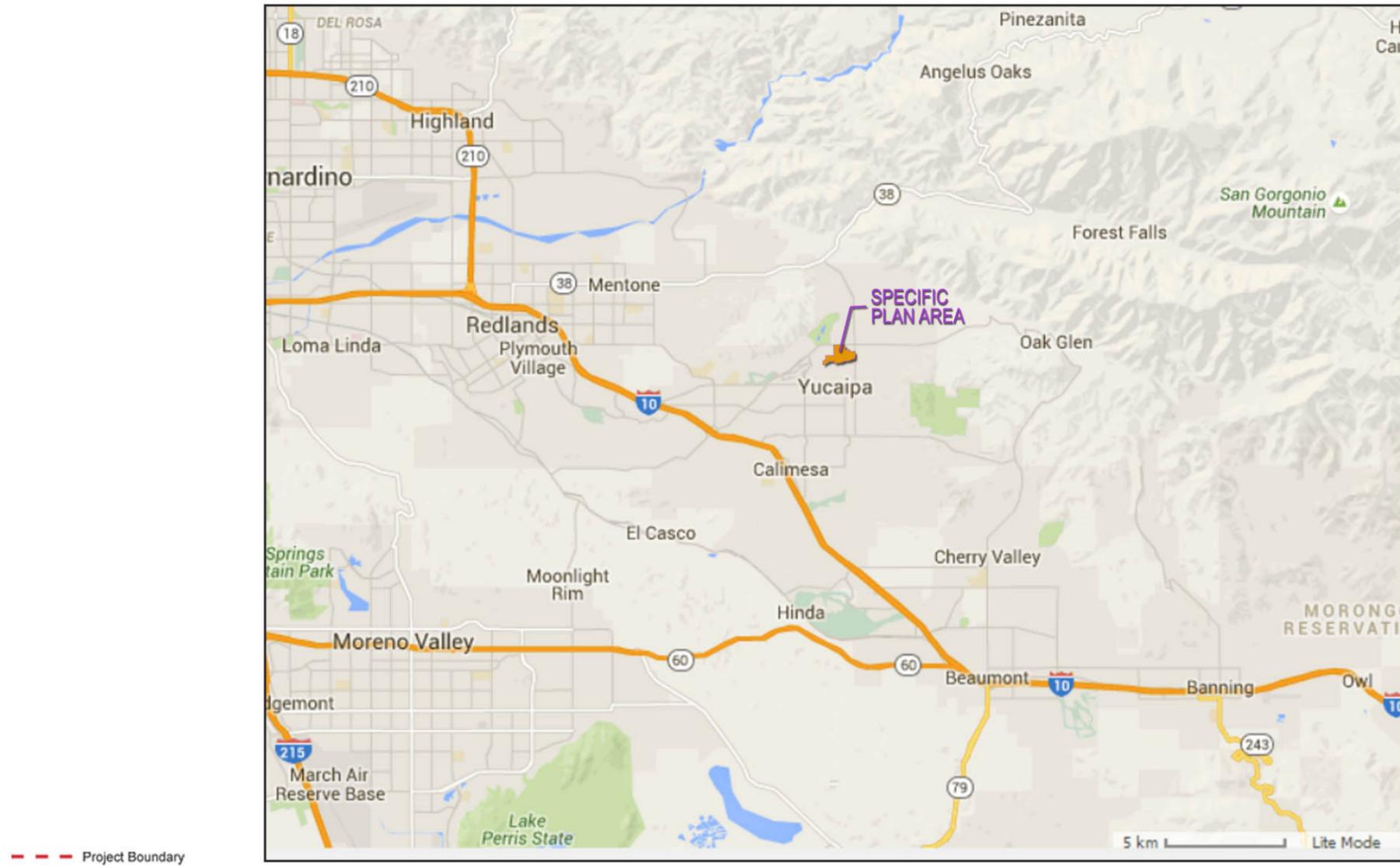
Section II Introduction

It is envisioned that residential development along 2nd Street, north of Eucalyptus Street, will include a decorative block wall since access to the residential area will only be permitted through intersecting streets, not individual lots. Various exhibits provide conceptual designs for these areas, as displayed in Section V, *Signs and Wall Design*.

OAK GLEN CREEK SPECIFIC PLAN
Section II Introduction

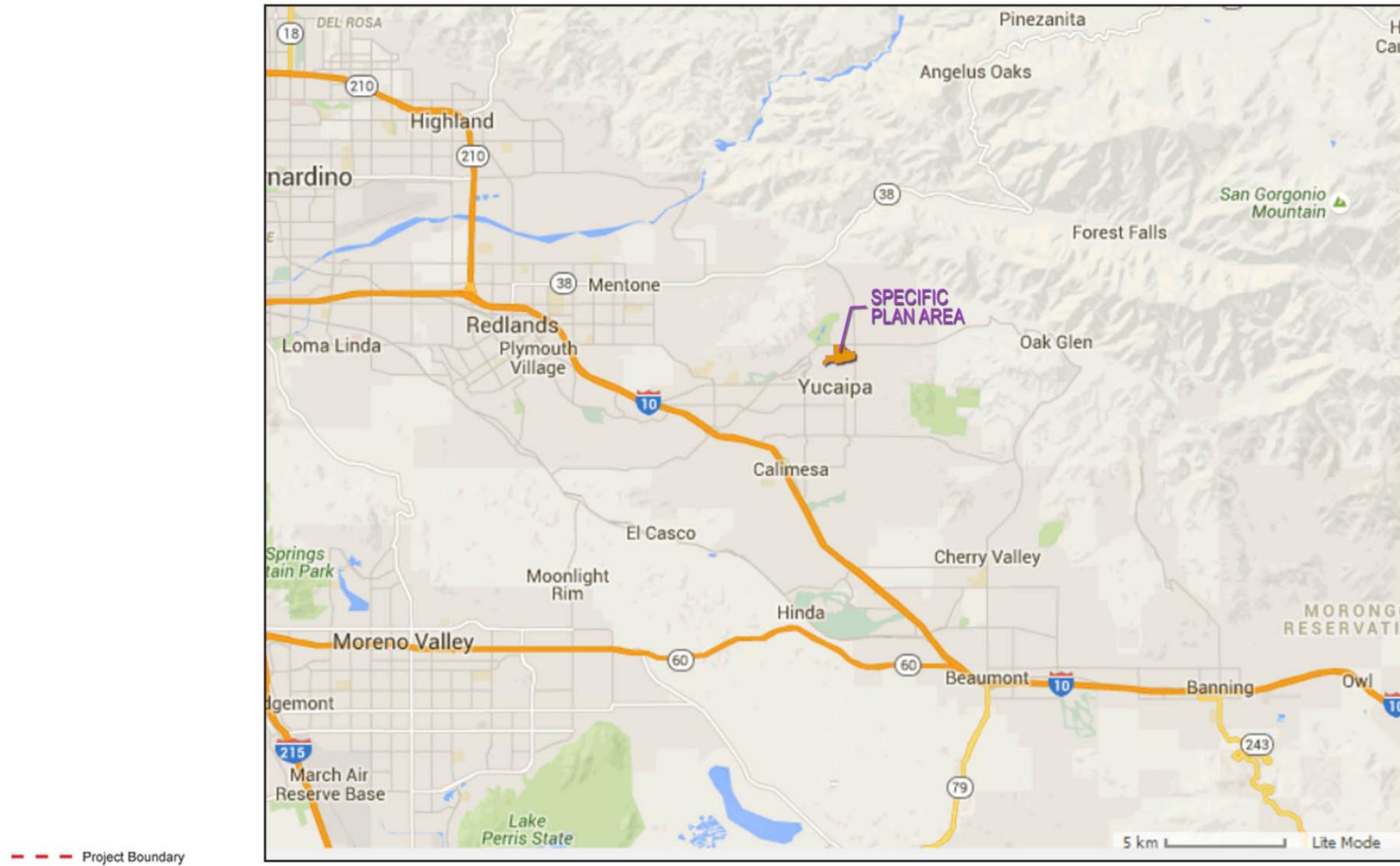
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Figure II-1 Regional Map



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Figure II-2 Vicinity Map

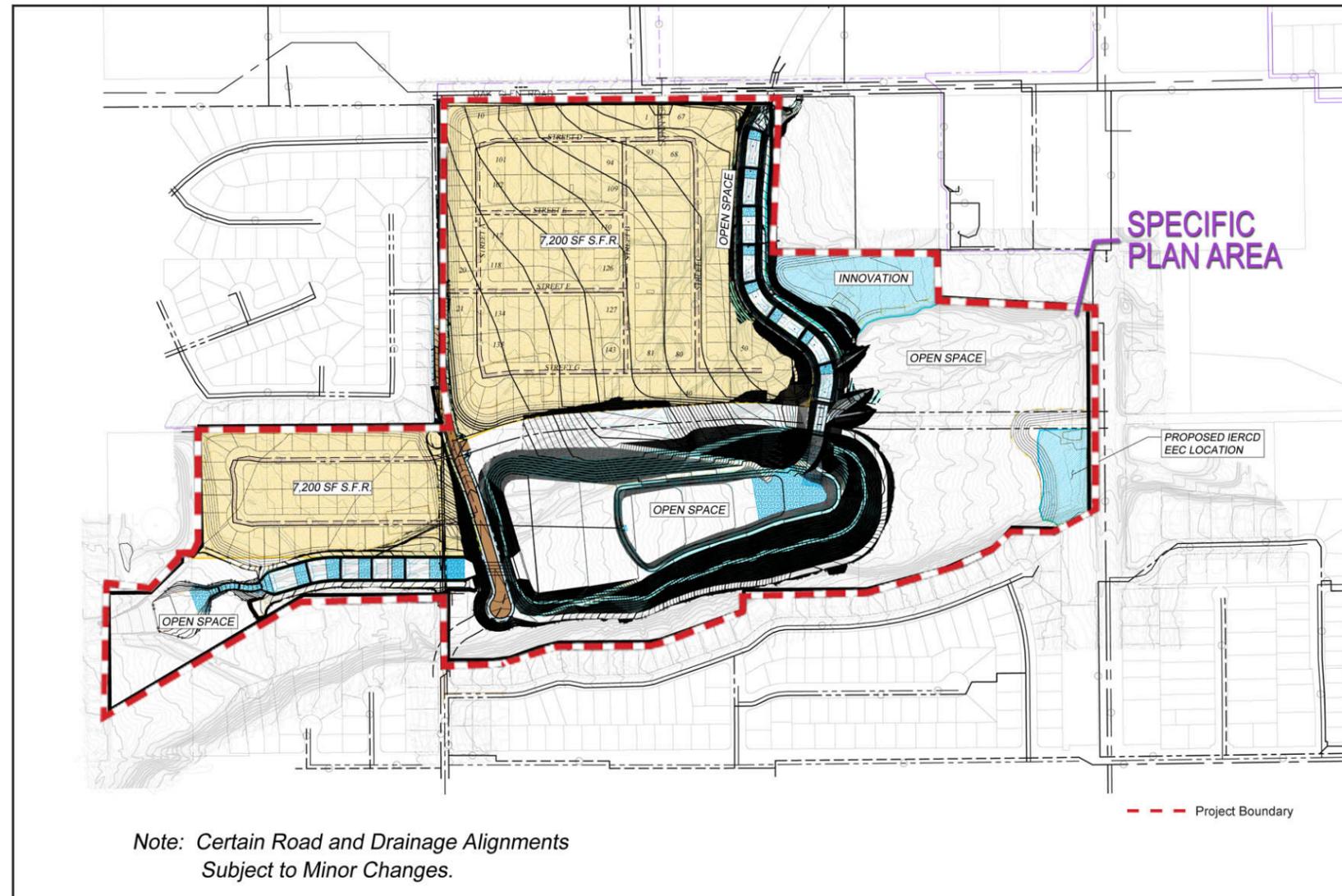


--- Project Boundary



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Figure II-3 Land Use Plan



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OAK GLEN CREEK SPECIFIC PLAN

Section II Introduction

C. PROJECT GOALS AND OBJECTIVES

The goals of the Oak Glen Creek Specific Plan are as follows:

1. Provide drainage and recreation improvements along Oak Glen and Wilson Creek.

The project site is located at a major confluence of drainage courses that represent an important component of the City's drainage system and a component of the City's Master Plan of Drainage. Controlling drainage flows through the site will reduce potential flooding in the downstream portions of the City. Drainage improvements have been constructed upstream of the property along both Wilson Creek, north of Oak Glen Road, and Oak Glen Creek, east of Bryant Street. The ability to detain stormwater flows within the proposed basin will lessen downstream flooding in the Dunlap Acres portion of the City.

The drainage portion of the proposed project allows for the installation of multi-purpose trails around portions of the site. The trails will occur around the basin and connect to the existing off-site trail along Wilson Creek. The upper portion of Oak Glen Creek will also permit passive recreational uses during non-storm events, such as hiking trails around the upper portion of the basin and along Eucalyptus Street.

2. Ensure that future development of the site would properly integrate into adjoining land use and infrastructure systems.

The project site represents an infill area as a result of the existing and approved development pattern. The subject property is currently surrounded by single family residential housing to the south and west. A portion of the land to the east is also developed with a church, small shopping center, water reservoir, and fire station. On the northwest and northeast corners of Bryant Street and Oak Glen Road, shopping centers have also been approved, but not yet constructed. Providing residential development on the project site would maintain compatibility with the adjacent residential uses.

In addition to the residential uses, the subject property is currently subject to storm water flows emanating from the upstream portions of Wilson Creek and Oak Glen Creek as they cross under Oak Glen Road and Bryant Street, respectively. Extending improvements through the project site would eliminate a current void in area's infrastructure systems.

OAK GLEN CREEK SPECIFIC PLAN

Section II Introduction

3. Provide development designs that would be visually attractive.

The Oak Glen Creek Specific Plan is designed to integrate into the neighborhood and become an asset for the City. The project location is in close proximity to residential and commercial uses. Therefore, development of additional residential uses with attractive architectural features and materials and landscaping along public streets, and landscaping within parking areas and adjacent to buildings in planned Institutional District areas, will enhance land use compatibility.

The objectives of **The Oak Glen Creek Specific Plan** will be to provide the following:

- Provide for future development opportunities through the construction and installation of street, utility, and storm drain improvements.
- Capitalize on the project location to provide an opportunity for the development of residential, institutional, office, and medical uses, including public and private educational facilities.
- Provide additional opportunities for local employment that reduce the need to travel out of town for jobs.
- Develop flood control improvements and a retention basin that include the realignment of Wilson Creek and the improvement of Oak Glen Creek.
- Develop portions of the area affected by Wilson Creek and Oak Glen Creek for combined drainage facilities and recreational features.
- Design a safe and efficient circulation system that adequately supports the anticipated level of vehicular, pedestrian, and bicycle traffic in and around the project site and is compatible with existing neighborhoods.
- Provide infrastructure systems that extend and connect to existing streets and trails.
- Provide for the transition of ownership from public agencies and private owners to private business entities and institutional users.
- Contribute significant property tax revenue to the City of Yucaipa.

III. PROJECT SETTING

A. REGIONAL SETTING

The Oak Glen Creek Specific Plan consists of approximately 116 acres in the northerly portion of the City of San Yucaipa, San Bernardino County, California. The property is located less than a mile from downtown and just over one (1) mile from City Hall. The property is at the junction of Wilson Creek and Oak Glen Creek, west of the intersection of Oak Glen Road and Bryant Street on property owned by the San Bernardino County Flood Control District, City of Yucaipa, Yucaipa Valley Water District and a private property owner.

Notable natural and manmade features in the general area include Oak Glen Road to the north, Bryant Street to the east, and 2nd Street to the west. Unimproved portions of Wilson Creek and Oak Glen Creek traverse the site in a southwesterly and westerly direction, respectively.

1. Surrounding Land Uses and Potential Development

The Oak Glen Creek Specific Plan project site is located within a developing area adjoining single family residential uses and includes land owned by the City and currently used as their Maintenance Yard at the northwest corner of the project site. Other land uses surrounding the project site include the Yucaipa Community Center along a portion of the northerly boundary; a Yucaipa Valley Water District above-ground water reservoir adjoining the property to the northeast; California Department of Fire and Forestry Fire Station at the easterly edge of the project site along Bryant Street; Oak Glen Creek Flood Control Basins to the east of Bryant Street, and; the Mousley Museum of Natural History located south of the flood control basins on the east side of Bryant Street. Existing on-site uses include the City of Yucaipa Maintenance Yard, an active water well operated by Yucaipa Valley Water District adjacent to the prolongation of 2nd Street near the southerly project boundary, and a single family residence located west of 2nd Street, north of the Oak Glen Creek.

Other land uses near the property include an existing church and its proposed expansion area located adjacent to the northeast project boundary and an approved, but yet to be constructed commercial shopping center on the north side of Oak Glen Road, northeast of the subject property, as displayed in Figure III-1, *Aerial Photograph*.

Existing General Plan and Zoning

The City of Yucaipa utilizes a combined General Plan/Zoning Map to ensure consistency between General Plan policies and zoning development standards. The subject property is displayed on the General Plan Land Use Map as IN

OAK GLEN CREEK SPECIFIC PLAN
Section III Project Setting

(Institutional), RL-1 (Rural Living, one acre minimum lot size), and RS-72C (Single Residential, 7,200 square feet minimum). Adjoining properties to the northeast, south of Oak Glen Drive, are also designated IN and include an existing above ground water reservoir and fire station. Land east of Bryant Street is designated IN and RL-1 (Rural Living, one acre minimum lot size) and include upstream drainage facilities for Oak Glen Creek. Land south of the subject property is a single family neighborhood with detached housing and designated RS-72C. Adjoining land to the west of the project site for that portion generally within Oak Glen Creek is designated RL-1 and IN. Other land use designations to the west of 2nd Street include single family residential development both within and outside of the Chapman Heights Planned Development (PD) and RS-10M (Single Residential, 10,000 square foot minimum lot size) adjacent to Oak Glen Road. Land to the north of Oak Glen Road is designated P (Park) for that portion generally west of Sunnyside Drive that includes Yucaipa Regional Park and RS-72C for undeveloped land generally located between Sunnyside Drive and Wilson Creek.

2. Regional and Area Circulation

The Oak Glen Creek Specific Plan site is located approximately four (4) miles northeast of Interstate 10 traversing along Oak Glen Road. Oak Glen Road provides the primary east/west access adjacent to the northerly site boundary and extends to and connects with Interstate 10 (I-10). Yucaipa Boulevard, located approximately 2/3rds of a mile south of the project site, also exists as a major east/west transportation corridor near the project site with a connection to I-10.

Roadway designations contained in City of Yucaipa General Plan identify Oak Glen Road and Bryant Street as Secondary Highways, 88 feet right of way. 2nd Street is a designated Collector roadway and designed to provide 66 feet right of way. Future interior roadways have been identified and will be designed as Local Streets with 60 feet right of way or a modified 50 feet right of way, depending upon conditions. The extension of 2nd Street, south of Eucalyptus Avenue will be designed as a 60 foot right of way.

OAK GLEN CREEK SPECIFIC PLAN

Section III Project Setting

OAK GLEN CREEK SPECIFIC PLAN DRAFT
CITY OF YUCAIPA

Figure III-1 Aerial Photograph



--- Project Boundary

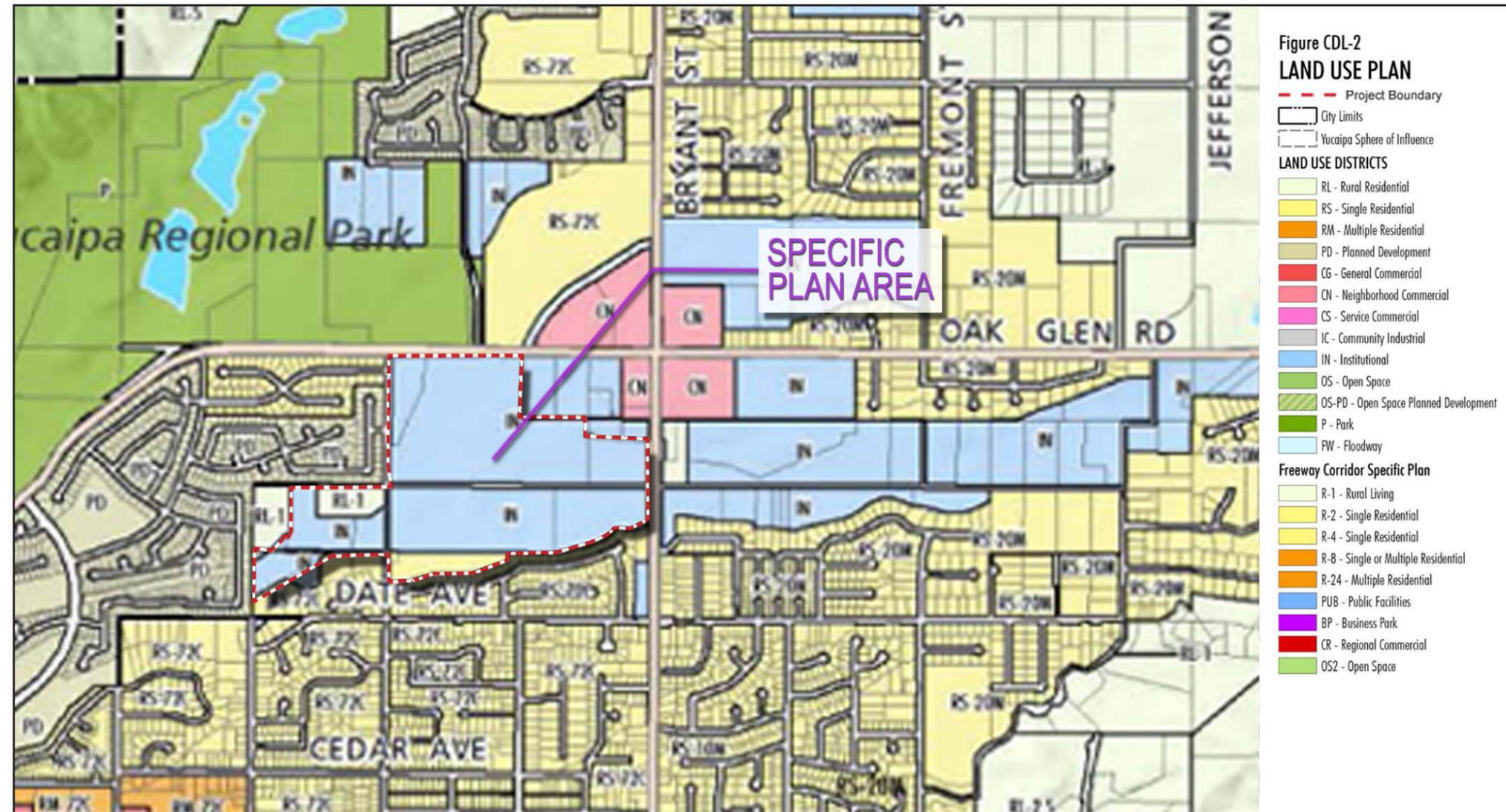
0 1,000
Scale (Feet)



OAK GLEN CREEK SPECIFIC PLAN
Section III Project Setting

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Figure III-2b Land Use Overlay Districts ~ enhanced view

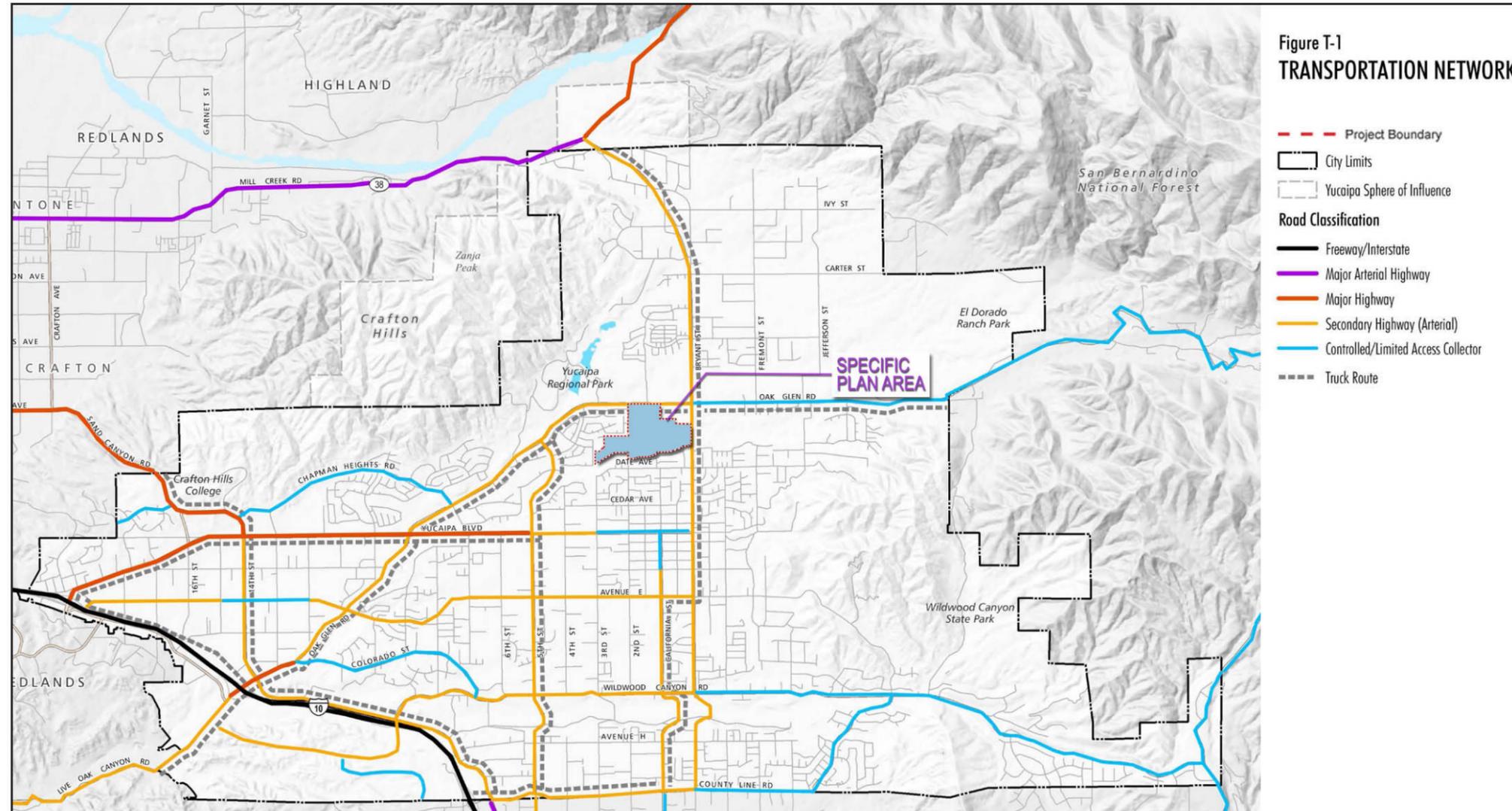


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OAK GLEN CREEK SPECIFIC PLAN
Section III Project Setting

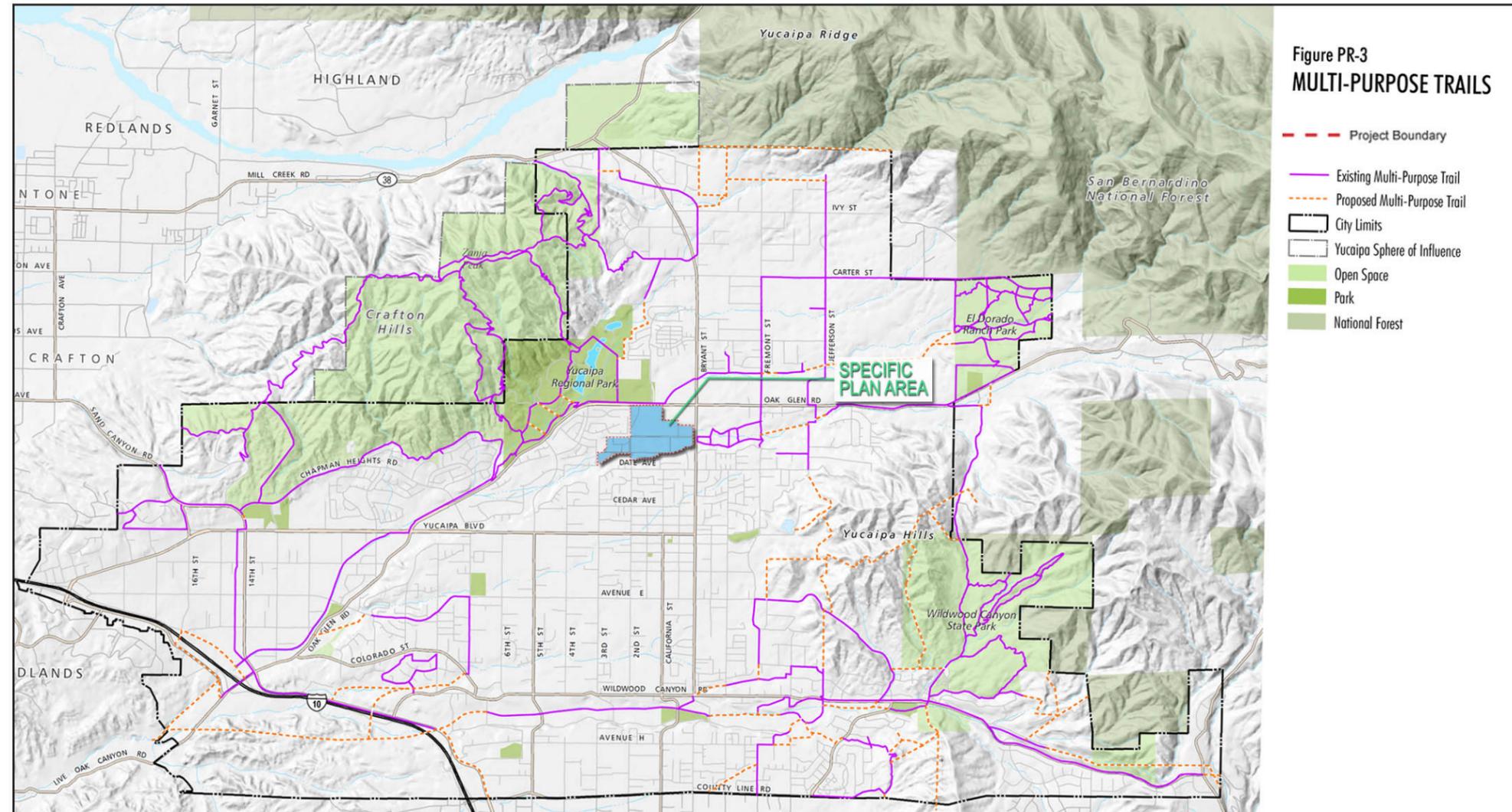
OAK GLEN CREEK SPECIFIC PLAN DRAFT
 CITY OF YUCAIPA

Figure III-3 General Plan ~ Circulation Map T-1 ~ overall



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Figure III-4 Multi-Purpose Trails



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OAK GLEN CREEK SPECIFIC PLAN
Section III Project Setting

B. ENVIRONMENTAL SETTING

1. Physical Site Setting

The project site varies in vertical elevation about 130 feet from an approximate height of 2,730 along the northerly and easterly edge of the site to about 2,570 feet above sea level at the westerly end of the project site along Oak Glen Creek, according to a conceptual basin plan. The most notable natural features are Wilson and Oak Glen Creeks that traverse the site from improved drainage courses located north of Oak Glen Road and east of Bryant Creek, respectively. The only portion of the project site currently developed consists of an existing water well near the southwest corner of the site and an existing residence west of 2nd Street and north of Oak Glen Creek.

2. Biological Setting

The project site is currently traversed by two (2) blue-line drainage courses, identified as Wilson Creek and Oak Glen Creek, as displayed on the Yucaipa U.S.G.S. Map. Oak Glen Creek traverses the entire width of the site from Bryant Street to west of 2nd Street and Wilson Creek enters the project site from Oak Glen Road and intersects on-site with Oak Glen Creek. Along these drainage courses are alluvial fan sage scrub and riparian vegetation. The balance of the site includes chaparral, coastal scrub, non-native grassland, and ruderal habitats.

A number of technical reports have been prepared for the project due in part to the change in project area that has occurred over time. A Biological Resources Report was prepared for that portion of the project site located east of 2nd Street, excluding the City Maintenance Yard, by Cadre Environmental, dated June 2014 and a Jurisdictional Delineation Report prepared by Vandermost Consulting Services in 2011. A Habitat Assessment and Jurisdictional Delineation were prepared by RVA in 2015 and a Focused Survey for Sensitive Plants by RVA in 2016 due to an increase in the project area from its original design. A Biological Resources Impact Analysis Report prepared by RVA in 2016 evaluated the impacts upon biological resources within the entire 115+ acre project site. A literature review was conducted for the project site and identified the potential for 29 plant species to occur based upon soil types, landforms, and native plant communities. Comprehensive biological assessments and focused biological and wildlife surveys were conducted to determine actual species on-site. Based upon the site surveys only Parry's spineflower was identified on the project site. In addition, habitat assessments were conducted and suitable habitat was found for the following species:

- Cooper's Hawk
- Sharp-shinned hawk
- Ferruginous hawk

OAK GLEN CREEK SPECIFIC PLAN

Section III Project Setting

- Norther harrier
- White-tailed kite
- Prairie falcon
- Golden eagle
- California horned lark
- Southern California rufous-crowned sparrow
- Coastal California Gnatcatcher*
- Burrowing Owl*
- San Bernardino Kangaroo Rat*

No coastal California gnatcatchers, San Bernardino Kangaroo Rats (federal/state threatened/endangered wildlife species) or burrowing owls (state species of special concern) were found during the protocol surveys conducted in the spring of 2012. 0.94 acre of mapped Parry's spineflower were found onsite, with about 0.7 acre affected by the proposed project.

A number of mitigation measures were recommended within the 2016 Biological Resources Impact Analysis Report and the topical characteristics/issues of each have been listed below.

- Burrowing Owl 14-Day Take Avoidance Surveys
- Sensitive Plant Species Mitigation Plan
- Federal Migratory Bird Treaty Act
- Noise
- Lighting
- Sensitive Habitat Mitigation Plan
- U.S. Army Corps of Engineers, Regional Water Quality Control Board, and California Department of Fish and Wildlife Jurisdictional Resources
- Habitat Mitigation Monitoring Plan
- Urban Runoff
- Storm Water Pollution Prevention Plan
- Wildlife Corridor Design and Urban Wildlands Interface Guidelines

3. Cultural Setting

Some of the subject property is located within an area designated as having sensitivity for paleontological resources, as displayed in the Yucaipa General Plan, Figure PR-6. A Cultural Resource Assessment for the *Wilson Creek Business Park Project, City of Yucaipa, San Bernardino County, California*, dated August 2011, was prepared by Cogstone for the original project area east of 2nd Street. The report found that the project site was not previously studied and eleven resources were identified within one-mile of the project site. An inquiry with the Native American Heritage Commission did not identify any scared lands in the vicinity.

OAK GLEN CREEK SPECIFIC PLAN
Section III Project Setting

Four (4) historical sites were identified on the project site that included an historical diversion canal or berm, an historical rock and concrete retention dam along a portion of Oak Glen Creek, a site containing small glass ceramic fragments, and a trash scatter site. The latter site is not expected to be affected by the proposed project improvements.

The report also found that the site has a low probability for paleontological resources due to the large size of the sediment particles on the site. Typically, smaller size particles enhance the preservation of fossils. Lastly, the report found the site may have moderate sensitivity for additional archaeological resources, due to the existence of Oak Glen and Wilson Creek drainages.

Additional analyses were undertaken for the outflow channel discharge area that included the City's Maintenance Yard by BCR Consulting in November 2014 and January 2015. The three records searches found that 40 previous resource studies were undertaken within a one mile radius of the project site and 23 resources were identified. On-site field surveys of the project area did not identify any cultural resources.

4. Hydrology/Flood Plain Setting

The project site is traversed by several 100-year drainage courses, as displayed on the Hazards Overlay Districts exhibits of the *City of Yucaipa General Plan*. The adjoining upstream segment of each drainage course is improved, with an improved earthen channel north of Oak Glen Road for Wilson Creek and adjoining detention basins for Oak Glen Creek east of Bryant Street. Culverts under Oak Glen Road and Bryant Street allow storm water flows from these Creeks to traverse the property and ultimately discharge into a downstream concrete trapezoidal channel running through the Chapman Heights Planned Development project to the southwest.

5. Geologic Setting

A Geotechnical/Geologic Constraints Study, Wilson Creek Specific Plan South of Oak Glen Road Between 2nd and Bryant Street, City of Yucaipa, San Bernardino County, California, was prepared for the project site, dated July 5, 2011. The report found the project site is located within an area dominated by faults associated with the San Andreas Fault system. State designated Alquist-Priolo Earthquake Fault Zones include the Crafton Hills Fault, approximately 2/3rds of a mile to the northwest, Chicken Hills Fault approximately 1.75 miles to the southwest, the San Andreas Fault approximately 3 miles to the northwest, and the San Jacinto Fault – San Jacinto Valley segment approximately 9.6 miles to the southwest.

OAK GLEN CREEK SPECIFIC PLAN
Section III Project Setting

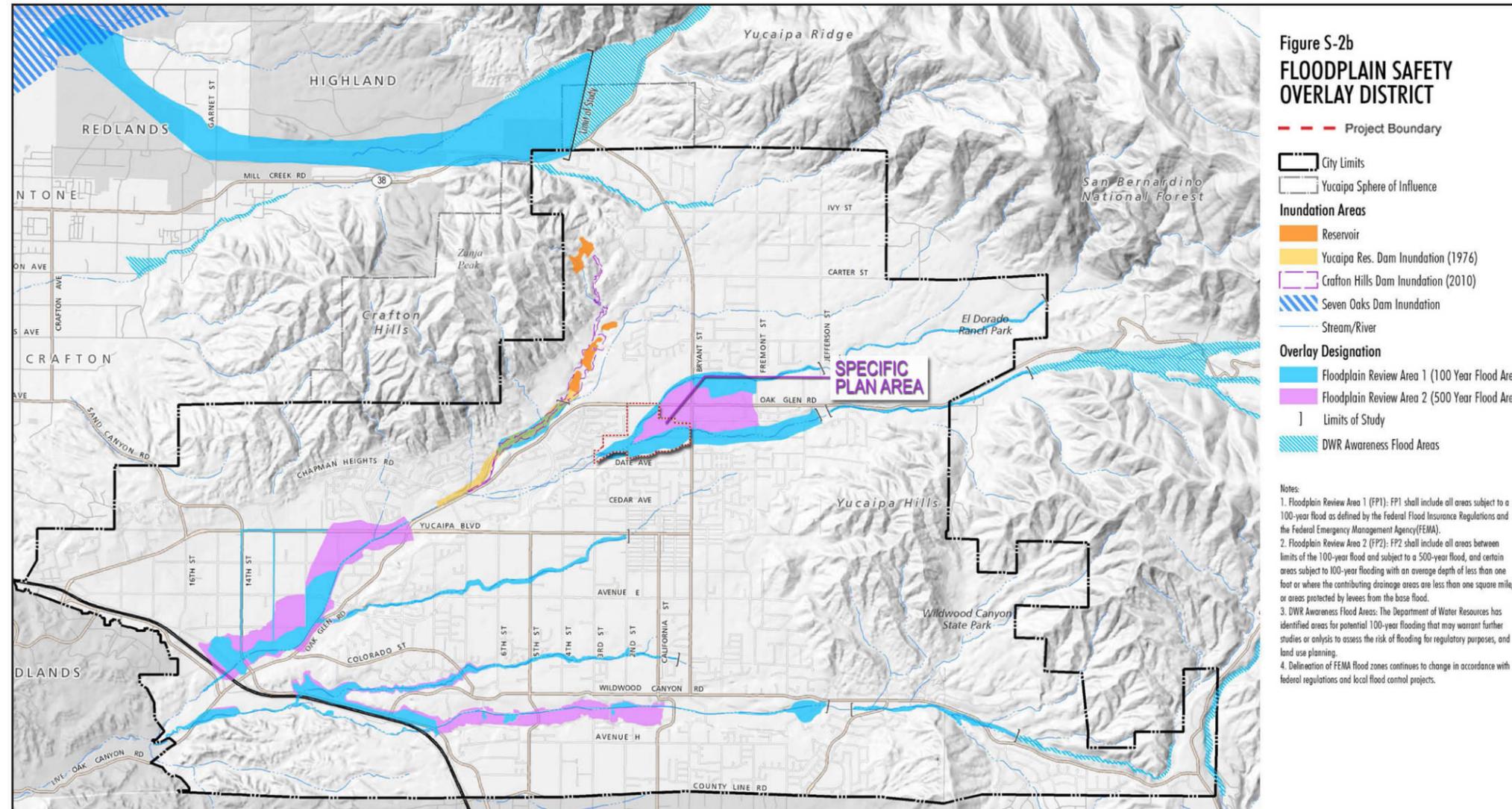
As part of the geotechnical study, five (5) exploratory holes were drilled ranging in depth from 16.5 feet to 51.5 feet. In the two (2) holes drilled to 51.5 feet, ground water was not present. The potential for earthquake induced liquefaction to occur is considered to be very low due to the lack of groundwater and the relatively high density of the alluvial soils.

The report also evaluated the potential for landslides, ground subsidence, ground lurching, and lateral spreading. The site is not located within the San Bernardino County Geologic Hazard Overlays designated landslide area. Based upon "site conditions, landsliding, ground subsidence, ground lurching and lateral spreading are considered unlikely at the site." (p. 12)

In addition, several concealed faults traverse the subject property in a northeast to southwest direction, as displayed on the City Fault Rupture Hazard Zone exhibit prepared on August 14, 2000, by the City Geologist, D. Scott Magorien, C.E.G. Based upon this finding a subsequent analysis by LOR Geotechnical Group, Inc. was undertaken that utilized a seismic fraction process. A subsequent report, entitled *Initial Fault Investigation for the Proposed Wilson Creek Business Park Specific Plan, Yucaipa, California*, dated September 25, 2013, was issued and stated "The purpose of the seismic refraction survey was to determine whether subsurface anomalies indicative of faulting were present within sediments underlying site." (p. 8) The process involves the evaluation of energy waves through subsurface features based upon the travel time of compressional waves. The report indicated that three (3) different underlying soil elements existed. Variations or abrupt changes in the contact lines between these different soil elements identify breaks or anomalies that are often attributed to faulting. However, "the contact lines shown between the three units are relatively constant in terms of their definition/velocity." (p. 9)

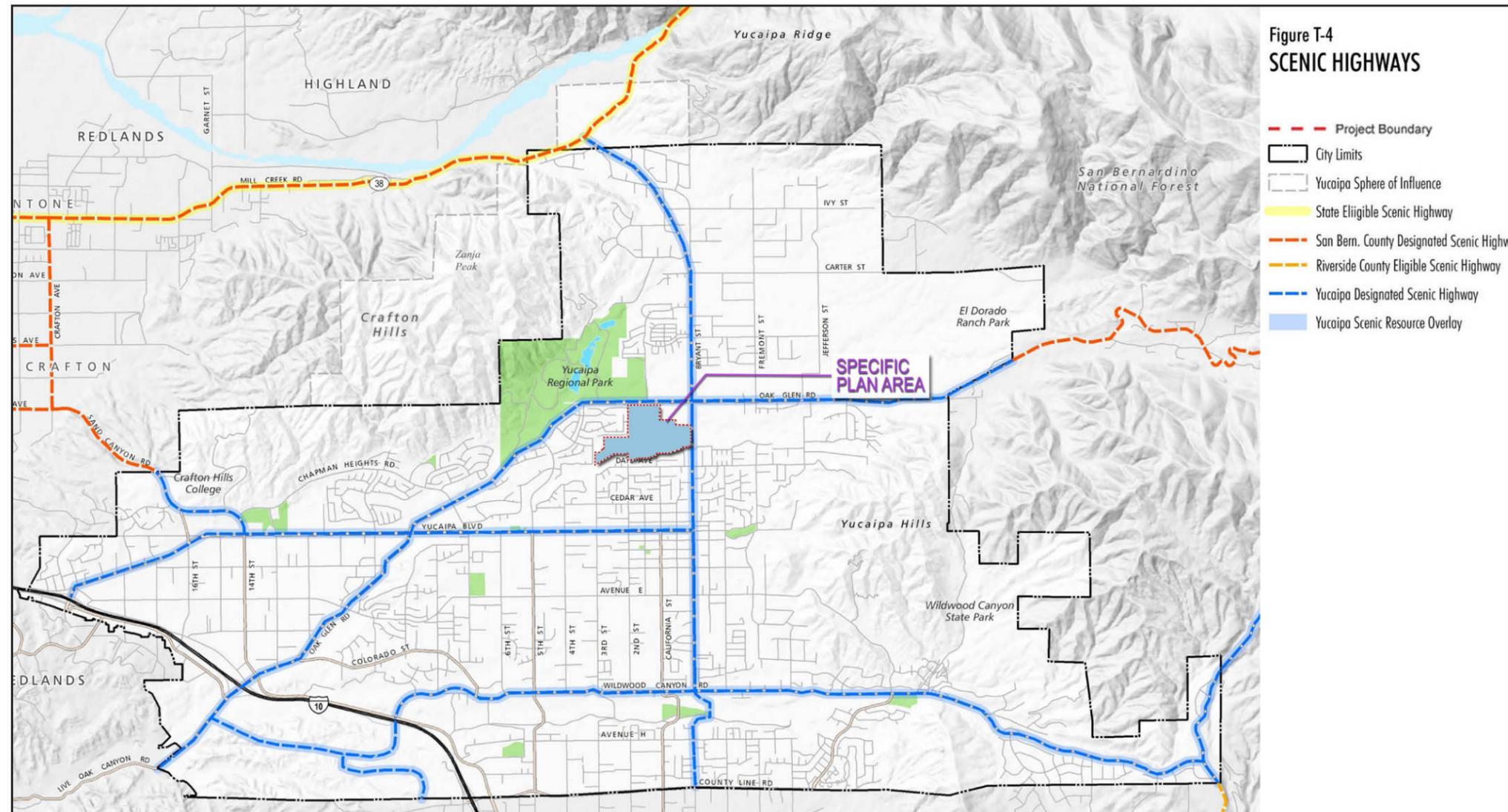
The report concluded that ground shaking could result in damage to structures, yet remain standing. The design requirements and procedures in the California Building Code should reduce the effects of ground shaking and allow buildings to be evacuated.

Figure III-5 General Plan Flood Plan Safety Network



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Figure III-6 General Plan Bikeway Network ~ overall



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IV. SPECIFIC PLAN

The proposed **Specific Plan** land uses and their characteristics are identified below. The characteristics described are based upon the current land use design, displayed in Figure II-3, *Land Use Plan*.

A. LAND USE AREA DESCRIPTIONS AND IMPROVEMENT FEATURES

1. Residential District

Land Use Description

The Residential District of the **Specific Plan** encompasses the largest land area covering approximately 47.7 acres and up to 200 dwelling units based upon the General Plan density standards. The actual amount of development within each land use area may vary, provided the total number of dwelling units is not exceeded.

The northwesterly portion of Residential District includes the City's existing Maintenance Yard. It is expected that this use will continue for the foreseeable future. Should the City desire to relocate this facility to an area within or beyond the boundaries of the Specific Plan, residential development consistent with the requirements of this Specific Plan will apply.

Improvement/Design Features

It is envisioned the City's existing RS-72c residential development standards will be utilized with modifications to provide for enhanced architectural design, including the desirability of developer established themes that incorporate recognizable attributes from well-known styles, including but not limited to Mediterranean, Craftsman, Spanish, Ranch or Colonial. Buildings may be located in relatively close proximity to Oak Glen Road, which has an extended landscape corridor as part of the City's scenic highway setback. Buildings shall be oriented internally and away from surrounding public streets, such as 2nd Street and Oak Glen Road.

To minimize the effects of vehicle headlights and noise upon adjoining residential uses to the west, it is the intent of this **Specific Plan** to provide appropriate landscaping and wall features along 2nd Street that could include the use of raised landscape berms, the planting of trees and shrubs, and/or installation of other appropriate design features to adequately address potential development impacts. Uses adjacent to 2nd Street and Oak Glen Road will not have access onto these roadways.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

Based upon neighborhood input the circulation pattern around the Residential District was modified to provide a connection with Oak Glen Road at Sunnyside Drive and Eucalyptus Avenue was eliminated, except for a limited segment extending just west of Bryant Street to provide access to the proposed Innovation District area. This area, which is also adjacent to Bryant Street, could also be further subdivided.

2. Innovation District

Land Use Description

The Innovation District portion of the **Specific Plan** will provide approximately 6.7 acres of land use or approximately 20,000 square feet of building/office area, plus accessory garage and storage buildings. This buildable area was established to provide a limited development concept, rather than an attempt to maximize development potential. Building heights within this land use area are restricted to a maximum of 45 feet, consistent with the City's existing CS (Service Commercial) and CG (General Commercial) zoning districts. For further information please refer to Table IV-3, Innovation Center Development Standards. This land use category is to be displayed as Innovation District or ID on the City's Land Use Districts Map to differentiate this site from other designations.

The types of uses expected within the Innovation District area are characterized by users providing professional level job opportunities and undertaking services that are needed locally as well as regionally. The types of uses that could locate within this Land Use area include the following: Medical and hospital related uses; professional and administrative service uses, such as consultants, banking and financial services, insurance services; limited types of research and development services, excluding product testing, and; educational related uses, such as satellite campus uses, trade schools, and public schools.

The actual amount of development within each land use area may vary, provided the total number square footage of building area is not exceeded. The allowable building square feet identified for this land use area is provided for discussion purposes only and may vary upon approval of final development plans. The final size of this land use area may also vary depending upon the final engineering design for project roadways and realigned Wilson Creek, and the establishment of the northerly Open Space boundary along Oak Glen Creek.

Improvement/Design Features

Building Orientation: The buildings facing all public streets are to be architecturally attractive, whereby the project provides a positive and upscale design face towards the surrounding area.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

Parking Areas: Required parking areas shall be provided in close proximity to each business. Reciprocal parking and access is to be provided, as appropriate, between businesses and parcels to allow for ease of access and maneuvering. Parking is expected to be placed in front of the buildings and internal to Innovation District Land Use area.

Landscaping: Landscaping shall be provided adjoining each building and dispersed throughout the parking area.

Multi-purpose trails: Multi-purpose trails represent the principle recreational facility in the Development District Land Use area. A multi-use trail may occur along Wilson Creek, extending south from Oak Glen Road into the Oak Glen Creek drainage area, if concurred upon by and maintained by the San Bernardino County Flood Control District. Trails will also be located north and east of the planned drainage basin. The perimeter of the Multi-use trail extending between 2nd Street and Bryant Street will be separated from adjoining Open Space area utilizing the City's standard fencing design.

Outdoor Use Areas: The proximity of the Innovation District to Oak Glen Creek provides the opportunity for future businesses to provide outdoor seating and lunch areas for employees. These facilities are not required, but are permitted as part of future development proposals. Should such areas be incorporated into the site plan and building designs, appropriate landscaping and/or shade structures shall be provided to create an attractive setting with adequate visibility around the site for security purposes.

3. Open Space

Land Use Description

The Open Space District portion of the property covers approximately 57.6 acres of land and includes the flood control, drainage, and recreational portions of the **Specific Plan** located within Oak Glen Creek. Improvements within these areas shall be restricted to those necessary for flood control, drainage, storm water retention/detention, and open space and recreational uses. No buildings shall be allowed for human occupancy within this portion of the property, except those that are recreationally and/or resource conservation related, such as providing an opportunity for general public information on water and biological resources. Such buildings are currently envisioned for the easterly side of the Open Space Land Use District.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

The types of uses and improvements expected within the Open Space Land Use area are generally characterized by “hard” (concrete channels) and “soft” (earthen channels) flood control improvements and compatible passive recreational activities. The types of uses that would typically locate within this Land Use area include flood control streams and channels, groundwater recharge basins/facilities, walking paths, and passive recreational features such as fishing ponds, benches and tables.

Improvement/Design Features

Drainage Channels: Flood control and drainage facilities shall use natural and improved designs, such as graded and soft bottom/walled channels, as well as concrete lined facilities.

Detention/Retention Facilities: The detention or retention of storm water will utilize a single basin design within the Open Space District. The type of improvements necessary will vary depending upon the final design selected.

Recreational and Open Space uses: Multi-purpose trails are proposed along the channels and basin that connect to existing and planned trail systems around the project site. The multi-purpose trails shall be designed consistent with existing City standards and may operate in a dual use capacity for channel maintenance and recreation related activities.

Landscaping: An improved landscape corridor is to be established along the north side of the basin along the planned multi-use trail extending from 2nd Street to Bryant Street. This landscape corridor will act to delineate the Residential District from the Open Space District within the westerly half of the project area to help screen proposed project buildings. The landscape corridor over the easterly half of the trail would further buffer other existing and proposed buildings beyond the boundaries of the Specific Plan, north of what would be the prolongation of Eucalyptus Avenue if it was extended through the Open Space District. The landscape corridor is also intended to enhance the design and use of the multi-use trail planned along that alignment. Natural vegetation is to be installed within the easterly portion of the Open Space area, generally within the actual drainage course, to improve the area’s aesthetic qualities. The landscape design of this area will vary depending upon the final design adopted, which could include low-flowing and/or trapezoidal channel design(s). Plant species intended for this area are identified in Appendix A.

To reduce the potential adverse visual effect of proposed buildings upon residents located south of Oak Glen Creek, trees are to be provided along the southerly and northerly sides of the multi-use trail where the Residential District Land Use and Open Space Land Use District meet.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

Multi-purpose trails: The size of the Flood Control and Drainage area affords an opportunity for a number of multi-purpose trails. A trail system will extend between 2nd Street and Bryant Street, and may connect to and/or integrate with that planned along Wilson Creek. The trail system may also extend to the area around the future drainage basin and across Oak Glen Creek. The final trail design may vary depending upon the final improvements adopted for Oak Glen Creek.

Open Space Recreational Areas: The easterly portion of the Open Space District, within Oak Glen Creek, could include either a designed/improved low-flow stream channel for groundwater recharge as an aesthetic design feature or a natural trapezoidal channel to convey storm water flows. Portions of the area south of the east/west multi-use trail would be re-vegetated to provide a natural open space area and include the additional placement of trails. Resting areas with benches and tables are also planned as part of this open space area.

4. Project Roadways/Driveways

Improvement Features

Public Roadways: The project site currently has primary access to Oak Glen Road and 2nd Street, with a minor access to Bryant Street. Oak Glen Road and Bryant Street are fully improved adjacent to the project site. The westerly side of the roadway section for 2nd Street south of Oak Glen Road and north of Oak Glen Creek is fully improved, but the easterly portion of the right of way is not.

The Oak Glen Creek Specific Plan will be responsible for constructing the following roadways:

- 2nd Street: To be improved as a Collector Street, 66 feet right of way for that portion adjacent to the existing development on the west side of 2nd Street and as a Local Street, 60 feet right of way, for that portion southerly of the existing residential development. That portion of 2nd Street to be extended further south will be located along the embankment of the retention basin where it will cul-de-sac at the south end of the basin. That portion to the north of Eucalyptus Avenue would provide a fully improved roadway section with paving, curb, gutter, and sidewalk on both sides of the street.
- Internal Roadways: Internal roadways will be constructed westerly of realigned Wilson Creek and easterly of 2nd Street. All of the internal roadways will be designed as Local Streets, 60 foot right of way, although 50 foot right of ways may be permitted.
- Driveways: Internal driveways, drive aisles, and parking areas would be constructed in all land use areas, as projects are approved and developed within the project site.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

Table IV-1
Detailed Land Use Summary

Planning Area	Land Use	Net Acres¹	Potential Building Area
Residential District	Single Family Residences	47.7	200 Dwellings ²
Innovation District	Institutional, Office, and medical related uses	6.7	20,000 sq. ft. ³
Open Space District	Drainage related and Recreational and Open Space uses	57.6	Unknown
Roadways	2 nd Street and internal roadways	3.7	N/A
Total Land Area and Development Potential		115.7	200 dwellings, 20,000 sq. ft.

¹ Acreage calculations reflect approximate net area and may vary depending upon final engineering designs. The Wilson Creek Channel right of way and has been included as part of the Oak Glen Creek Channel and designated Open Space area. Area does not include roadways.

² The number of dwelling units for the Residential District was estimated based upon the amount of land available and the General Plan density factor of 4.2.

³ The potential square footage is based upon constructing 10,000 square feet of building area within each Innovation District area.

B. IMPROVEMENT AND DESIGN STANDARDS

Development standards and design criteria for **The Oak Glen Creek Specific Plan** have been established in a hierarchy fashion with two (2) distinct areas:

- Project-Wide Standards and Criteria: These provisions identify various design and development criteria for the entire property. This material is discussed immediately below.
- Improvement Standards: These provisions delineate the various land use development criteria and standards, infrastructure design requirements, and maintenance standards applicable to the project. This information is provided within later portions of this Section.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

1. Project-Wide Standards and Criteria

To ensure the orderly development of the land uses proposed for **Oak Glen Creek Specific Plan**, improvement standards have been created for each land use area and type of infrastructure, such as roadways and water/sewer facilities. In addition to the land use standards and improvements, the following project-wide improvement standards have also been established:

- a) **Oak Glen Creek Specific Plan** shall be developed with approximately 47.7 acres of single family development with up to 200 dwelling units in two separate Residential District areas; 6.7 acres of institutional, office, and medical uses, containing a maximum of 20,000 square feet of building area, plus accessory and storage buildings within two separate Innovation District areas, and; open space areas totaling approximately 57.6 acres that include flood control, drainage, open space, and recreation uses, as depicted on Figure II-3, *Land Use Plan*. The maximum number of square feet constructed within the Innovation District Land Use portion of the site can vary, but can not exceed the **Specific Plan** allocation without the approval of a Specific Plan Amendment and appropriate environmental documentation. The actual amount of land use area allocated to each district may vary depending upon the final engineering design for the flood control facilities and internal public roadways within the designated Residential and Innovation District areas and the ultimate boundaries of the Open Space Land Use Area.
- b) When appropriate and necessary to meet the goals of this **Specific Plan** by exceeding the Zoning Ordinance requirements, the criteria contained within this section (IV.B, Improvement and Design Standards) shall apply. Otherwise, uses and improvement standards shall be in accordance with the regulations of the City of Yucaipa Development Code, as amended.
- c) Standards related to signage, landscaping, parking, and other related design elements will conform to the Development Code of the City of Yucaipa. When appropriate and necessary to meet the goals of this **Specific Plan**, the standards contained within this document would exceed the zoning ordinance requirements.
- d) Development of the property shall be in accordance with the mandatory requirements of all City of Yucaipa ordinances and resolutions. Development shall conform substantially to **The Oak Glen Creek Specific Plan** as adopted and filed in the office of the City of Yucaipa Development Services Department, unless otherwise amended. This **Specific Plan** conforms to applicable State laws. Section IV.C.3 explains the method of determining **Specific Plan** consistency with development proposals.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

- e) Common areas under private ownership and identified in this **Specific Plan** shall be owned and maintained as follows:
- One or more maintenance organizations shall be established for the **Specific Plan** area to assume ownership and maintenance responsibility for lighting, landscaping, project signage, and other common on-site facilities and features.
 - A maintenance organization(s) shall be established prior to or concurrent with the issuance of any building permit for any approved development. The ownership and maintenance responsibility shall be identified at the time a tentative map(s) is filed.
- o) Prior to issuance of a building permit for construction of any use contemplated by this **Specific Plan** approval, the applicant shall first obtain clearance from the City of Yucaipa Community Development Department verifying that all pertinent conditions of **Specific Plan** approval have been satisfied for that portion of the development in question.
- p) An assessment of environmental issues/topics may be conducted to determine the environmental effects resulting from each site plan/plot plan, specific plan amendment or other discretionary permit required to implement this **Specific Plan** to determine consistency with previously approved actions. At a minimum, the environmental assessment shall utilize the evaluation contained in the final environmental document adopted for **The Oak Glen Creek Specific Plan**.
- q) Passive solar heating techniques shall be employed whenever practical within the project. Passive systems involve the proper orientation of buildings, planting trees to take advantage of the sun, providing adequate roof overhangs, ensuring walls are properly insulated, and installing simple heat storage systems.
- r) If necessary, roadways, infrastructure, and open space and recreation facilities may be coordinated by and paid for through an assessment to facilitate construction, maintenance and management.
- s) Prior to the issuance of building permits, improvement plans for development of common private open space areas, including irrigation plans, shall be submitted for approval to the Development Services Department for each development stage. Irrigation plans shall be certified by a landscape architect.
- t) For the security and safety of future employees and visitors, each developer shall incorporate the following design concepts within each project area:

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

- Lighting of driveways and walkways.
 - Aggressive project monitoring to ensure compliance with rental, lease and/or ownership agreements.
- u) Development within the project shall conform to Title 24, Chapter 2-71, of the *California Administrative Code* to ensure accessibility to handicapped individuals.
- v) Construction of certain public facilities and infrastructure requirements (including, but not limited to sewer/water/recycled water systems, roadways or open space areas), may be financed through funding from the City of Yucaipa, the U.S. Economic Development Agency, and the San Bernardino County Flood Control District.
- w) All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of City of Yucaipa Ordinances, subject to approval by the California Department of Forestry and Fire Protection (CALFire).
- x) Noise levels within the project area caused by surrounding uses shall be mitigated consistent with the provisions of the City's Noise Element. Noise-sensitive land uses in noise-impacted areas or a noise-generating use that could affect noise-sensitive land uses shall prepare an acoustical analysis. Noise generated by development within the project site shall be consistent with the levels contained in the Noise Performance Standards of the City's Development Code.
- y) The construction and operation of uses within this **Specific Plan** shall be consistent with the performance standards contained in Division 7, Chapter 9, Performance Standards, Yucaipa Development Code.
- z) The applicant/property owner shall be required to apply an anti-graffiti coating and/or provide a landscape design of a type and nature that is acceptable to the City Planner/Development Services Director, to each of the publicly viewable surfaces deemed by the City Planner to be likely to attract graffiti.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

Table IV-2
Allowed Land Uses

Land Use Districts	Permitted Uses	Uses Subject to a Conditional Use Permit
Residential District	<ul style="list-style-type: none"> • Single Family Residences • Accessory Uses, as provided in Chapter 5 of the City's Development Code 	<ul style="list-style-type: none"> • Planned Development
Innovation District	<ul style="list-style-type: none"> • Satellite Campus • Trade/Vocational Schools • Limited Recreational Uses • Office and Professional Services • Research and Development Services, but no testing • Government facilities, including but not limited to maintenance facilities, corporate yards, and offices • Limited educational facilities, such as habitat demonstrations and learning centers. <p>The above listed Permitted Land Uses would include those establishments which provide advice, designs, information, educational, and consultation services. Activities typically include, but are not limited to: university campuses or extension campuses, executive management, technology management, professional and administrative related services, or clerical type activities undertaken by private and profit/non-profit oriented firms. Examples of these uses would include, but are not limited to: private schools, corporate and branch offices, and data storage centers.</p> <p>Research and development service activities typically include, but are not limited to: research, design, analysis, and development. However, no product testing is permitted, as would be the case with laboratory experiments, for example.</p>	<ul style="list-style-type: none"> • Primary and Secondary (K-12) Educational Facilities • Conference Centers • Museums, Art Galleries, and Libraries • Wireless Telecommunication Facilities • Medical Facilities that provide for overnight stay or emergency ambulance services • Research and Development, including product testing. <p>The above listed Uses Subject to a Conditional Use Permit may include testing activities that do not produce odors, noise, vibration, hazardous waste materials, or particulates, which would adversely affect other uses in the structure or on the same site.</p>
Open Space District	<ul style="list-style-type: none"> • Flood Control and/or Groundwater Recharge Basins and Facilities • Multi-Purpose Trails • Limited Recreational Uses • Preservation of biological and water resources, including habitat restoration 	<ul style="list-style-type: none"> • Limited educational facilities, such as habitat demonstrations and learning centers.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

2. Land Use Development Standards and Design Criteria

a) Residential District Development Standards

1. Access into this portion of the project site is provided from 2nd Street, Oak Glen Road, and Bryant Street. Eucalyptus Avenue is not planned as a through street between 2nd Street and Bryant Street. The design of entry features and/or project site identifiers is displayed in Section V, Signs and Wall Designs.
2. Direct access to 2nd Street and Oak Glen Road from individual parcels is prohibited.
3. Landscaping along the public street rights of way will be consistent with the City of Yucaipa approved landscape plan prepared by the project developer and consistent with the criteria specified in Section V, B.
4. Buffering shall be provided along 2nd Street to minimize lights and noise emanating from on-site vehicles. This design may incorporate a raised landscape berm and the possible addition of a block wall on the berm, depending upon its height. A six (6) high block wall may be constructed for security purposes.
5. Chain-link fencing shall not be allowed on-site, except as part of the Wilson or Oak Glen Creek channels. Trail-type fencing utilized as part of the City's multi-use trail system will be installed along 2nd Street and Oak Glen Road and along the prolongation of Eucalyptus Avenue if it was extended through the Open Space District. Wall or trail-type fencing treatments along the perimeter project boundary in the northeasterly portion of the site is allowed, provided they are approved as part of the City's standard Architectural Review process.
6. The Wilson Creek Channel and Oak Glen Creek are to be included within the Open Space Land Use District. However, improvements to both Creeks shall be consistent with the Open Space Development Standards and coordinated with improvements proposed within the Residential District. Please refer to the applicable section contained below.
7. Please refer to Table IV-2, *Allowed Land Uses*, for permitted land uses; Table IV-3, *Development Standards*, for building height, building setback, and other design criteria, and; Section V, Residential Designs for examples of building design, articulation, materials, and colors.
8. Please refer to Section V, **DESIGN GUIDELINES**, for other related design criteria.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

9. Please refer to Section **IV SPECIFIC PLAN** for other related standards and requirements that apply project-wide, including the following:

Specific Plan Section	Specific Plan Section
IV.B.2: Land Use Development Standards and Design Criteria	IV.B.5: Water, Sewer, and Recycled Water Facilities Plan and Design Standards
IV.B.3: Circulation Plan and Design Standards	IV.B.6: Grading Plan and Design Standards
IV.B.4: Drainage Plan and Design Standards	IV.B.7: Site Maintenance Plan
	V.B: Landscape Plan

b) Innovation District Development Standards

1. Primary access into this portion of the project site is provided from Oak Glen Road and Bryant Street. Eucalyptus Avenue is not designed as a through street between 2nd Street and Bryant Street, but will provide access to the most easterly Innovation District location from Bryant Street.
2. Landscaping along the public street rights of way will be consistent with existing City adopted design standards.
3. Chain-link fencing shall not be allowed on-site, except as part of the Wilson or Oak Glen Creek channels. Trail-type fencing utilized as part of the City's multi-use trail system will be installed along Oak Glen Creek/Eucalyptus Avenue prolongation alignment. Wall or trail-type fencing treatments along the perimeter project boundary in the northeasterly portion of the site is allowed, provided they are approved as part of the City's standard Architectural Review process.
4. The Wilson Creek Channel and Oak Glen Creek are to be included within the Open Space Land Use District. Improvements to both Creeks shall be consistent with the Open Space Development Standards and development of the Innovation District shall be coordinated with those improvements. Please refer to those applicable section contained below.
5. Please refer to Table IV-2, *Allowed Land Uses*, for permitted land uses; Table IV-3, *Development Standards*, for building height, building setback, and other design criteria, Table V-1, *Innovation District Style and Design Criteria*, for building design, articulation, materials, and colors, and Section V, *Commercial Designs*, for examples of building design, articulation, materials, and colors.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

6. Please refer to Section **V, DESIGN GUIDELINES**, for other related design criteria.
7. Please refer to Section **IV SPECIFIC PLAN** for other related standards and requirements that apply project-wide, including the following:

Specific Plan Section	Specific Plan Section
IV.B.2: Land Use Development Standards and Design Criteria	IV.B.5: Water, Sewer, and Recycled Water Facilities Plan and Design Standards
IV.B.3: Circulation Plan and Design Standards	IV.B.6: Grading Plan and Design Standards
IV.B.4: Drainage Plan and Design Standards	IV.B.7: Site Maintenance Plan
	V.B: Landscape Plan

c) Open Space Development Standards

1. Access to the various flood control and drainage parcels is provided from Oak Glen Road, Bryant Street, and 2nd Street.
2. Land uses within realigned Wilson Creek and Oak Glen Creek shall be primarily flood control and drainage related, with associated open space and recreational uses in specifically designated areas, such as multi-purpose trails adjacent to established flood control channels, benches and tables along established trail routes, and low level lighting for safety purposes.
3. Please refer to Table IV-2, *Allowed Land Uses*, for permitted land uses and Table IV-3, *Development Standards*, for building height, building setback, and other design criteria.
4. Please refer to Section **V, DESIGN GUIDELINES**, for other related design criteria.
5. Please refer to Section **IV SPECIFIC PLAN** for other related standards and requirements that apply project-wide, including the following:

Specific Plan Section	Specific Plan Section
IV.B.2: Land Use Development Standards and Design Criteria	IV.B.5: Water, Sewer, and Recycled Water Facilities Plan and Design Standards
IV.B.3: Circulation Plan and Design Standards	IV.B.6: Grading Plan and Design Standards
IV.B.4: Drainage Plan and Design Standards	IV.B.7: Site Maintenance Plan
	V.B: Landscape Plan

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

Table IV-3
Specific Plan Development Standards

Uses Permitted	Innovation District	Residential* and Open Space Districts
<i>Lot Characteristics</i>		
Minimum Lot Size/Area	N/A	Please refer to the City's RS-72C and OS Districts within the Development Code
Maximum Building Coverage	N/A (a maximum sq. ft. building area has been established)	
Minimum Lot Frontage	Based upon approved site plan and/or subdivision map	
Minimum Lot Depth		
Minimum Lot Width		
<i>Building Design Criteria</i>		
Minimum Street Setback	15 feet	Please refer to the City's RS-72C and OS Districts within the Development Code
<ul style="list-style-type: none"> • Bryant Street • Eucalyptus Avenue. 	15 feet	
Minimum Interior Yard Setback	10 feet	
Maximum Building Height	45 feet	
Minimum Building Separation	<ul style="list-style-type: none"> • 20 feet, with adjoining 2 story structures. • 30 feet, with adjoining 2 or 3 story structures. 	
Building Encroachments	2 feet	
<i>Parking Requirements</i>		
Parking Spaces	As required by Yucaipa Development Code	
<i>Additional Items</i>		
Open Space and Recreational Features	Designed as part of permitted buildings.	Multi-purpose trails, benches, low level outdoor lighting.
Site Landscaping	15 percent of the development area shall be landscaped.	The amount of landscaping is predicated upon the design of the open space area.
Landscaping Adjoining Street Right of Way or Adjacent to Oak Glen Creek	<ul style="list-style-type: none"> • Oak Glen Road: Consistent with General Plan 	

*The requirements of the City's RS-72C (Single Residential, 7,200 sq. ft. minimum lot size) shall apply to development within the Residential District.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

3. Circulation Plan and Design Standards

a) Circulation Plan Description

The **Specific Plan** will include on-site public roadways and adjacent existing master planned roadways. The existing multi-purpose trails and adjoining bike paths have been integrated into the project and will provide safe and convenient access throughout the project site.

Existing public roadways adjacent to the project site provide local and regional circulation. These roadways reflect the City's adopted General Plan Transportation Element and their features are described below as part of the City of Yucaipa master planned roadway system.

- Oak Glen Road: This roadway is located on the northerly side of the project, master planned as a Secondary Highway with 88 feet right of way and four (4) travel lanes.
- Bryant Street: This roadway is located on the east side of the project, master planned as a Secondary Highway with 88 feet right of way and four (4) travel lanes.
- 2nd Street: This roadway is located on the westerly side of the project and is currently designed a Collector Street, north of the prolongation of Eucalyptus Avenue, with 66 feet right of way and 2 travel lanes.

Proposed on-site circulation would be provided by internal public roadways and the extension of 2nd Street as a 60 feet right of way along the proposed westerly dam wall. Internal roadways within the Residential District could include standard 60 feet right of way streets and 50 feet right of way modified streets.

Private driveways and access aisles shall be provided as necessary within the project site. In general, all commercial driveways and drive isles shall be a minimum of 24 feet in width, consistent with the City of Yucaipa Development Code. The project Master Developer will be responsible for the construction of on-site roadways. The City would be responsible for these improvements, if it so chooses.

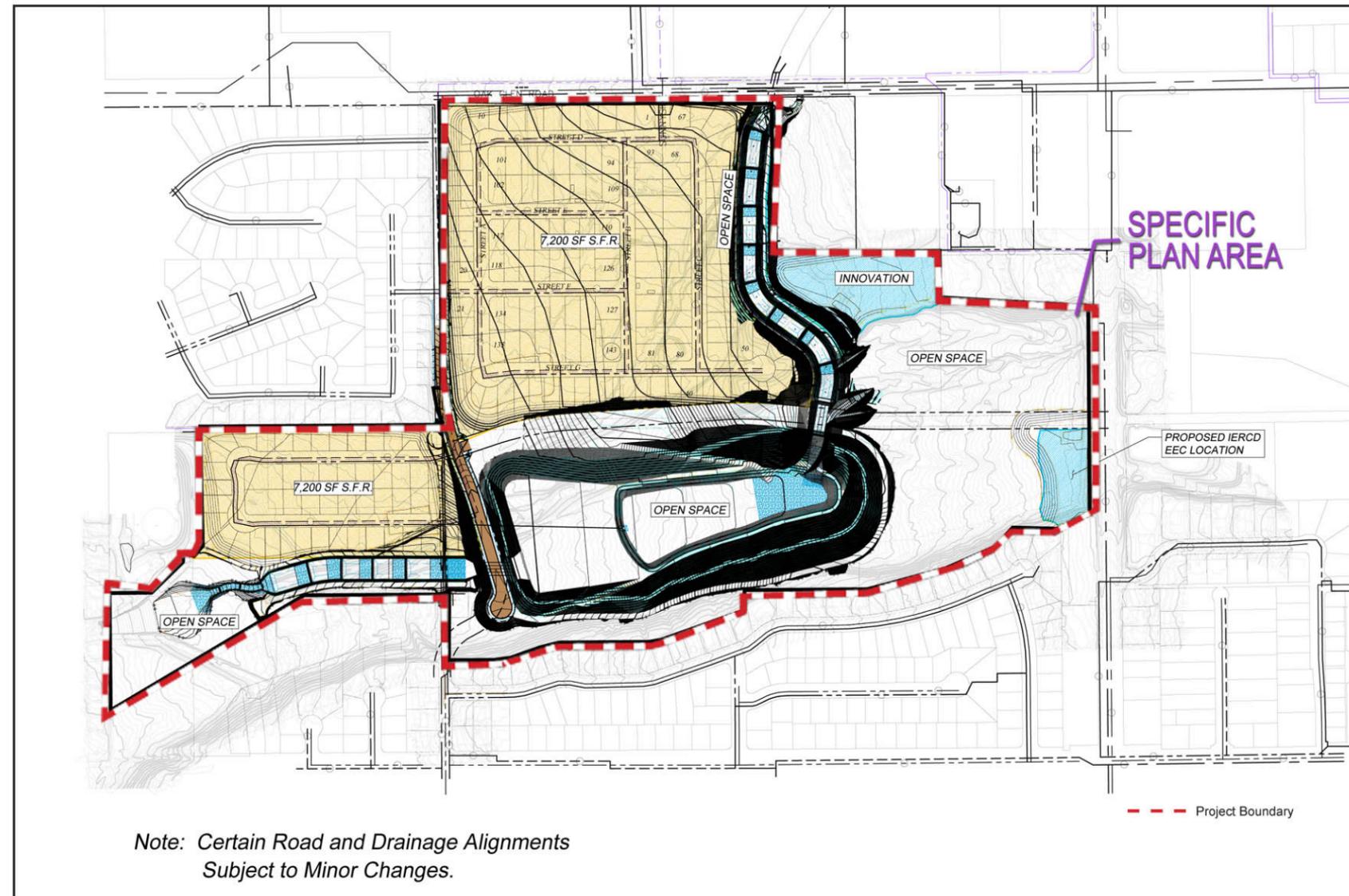
b) Circulation Plan Development Standards

1. The Circulation Plan provides an efficient vehicular and pedestrian design that meets the needs of the project and City desires. Roadway improvements are depicted on Figures IV-2 and 3, *Roadway Cross Sections*.
2. Adjacent and on-site public roadways shall be constructed as follows and as shown on Figures IV-2 and 3, *Roadway Cross Sections*:

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

- Collector Street: 66-foot right of way.
 - Local Street: 60-foot right of way.
 - Modified Street: 50-foot right of way.
 - On-site driveways/isles: Minimum 24-foot paved width.
3. Landscape requirements shall be in accordance with the streetscape design for each street frontage, as discussed in Section V Design Guidelines.
 4. All private on-site driveways shall be constructed to full-width. Adjoining perimeter public roadways or other applicable off-site roadways shall be improved consistent with a half-width street design, as displayed in the City's Circulation Element and as required by the City of Yucaipa standard conditions, with the exception of the southerly portion of 2nd Street. That portion of 2nd Street from its intersection with Eucalyptus Avenue to the south property boundary, located primarily within Oak Glen Creek, shall be constructed to provide full roadway width improvements within a 60-foot right of way cul-de-sac design.
 5. An Omni-Go bus stop with signage and enclosure facilities shall be provided adjacent to or within the project site, if found to be appropriate based upon applicable design criteria and safety factors.
 6. The project shall comply with the conditions and requirements set forth by the City Engineering Department.
 7. All typical roadway sections shall be as approved by the City Engineer.
 8. All driveway access points depicted in **The Oak Glen Creek Specific Plan** may be subject to adjustment during the preparation of future design or improvement plans.
 9. Any landscaping within the public road right of way will require approval by the City Engineer and assurance of continuing maintenance by the adjoining property owner, as determined by the City Engineer.

Figure IV-1 Land Use and Circulation Plan

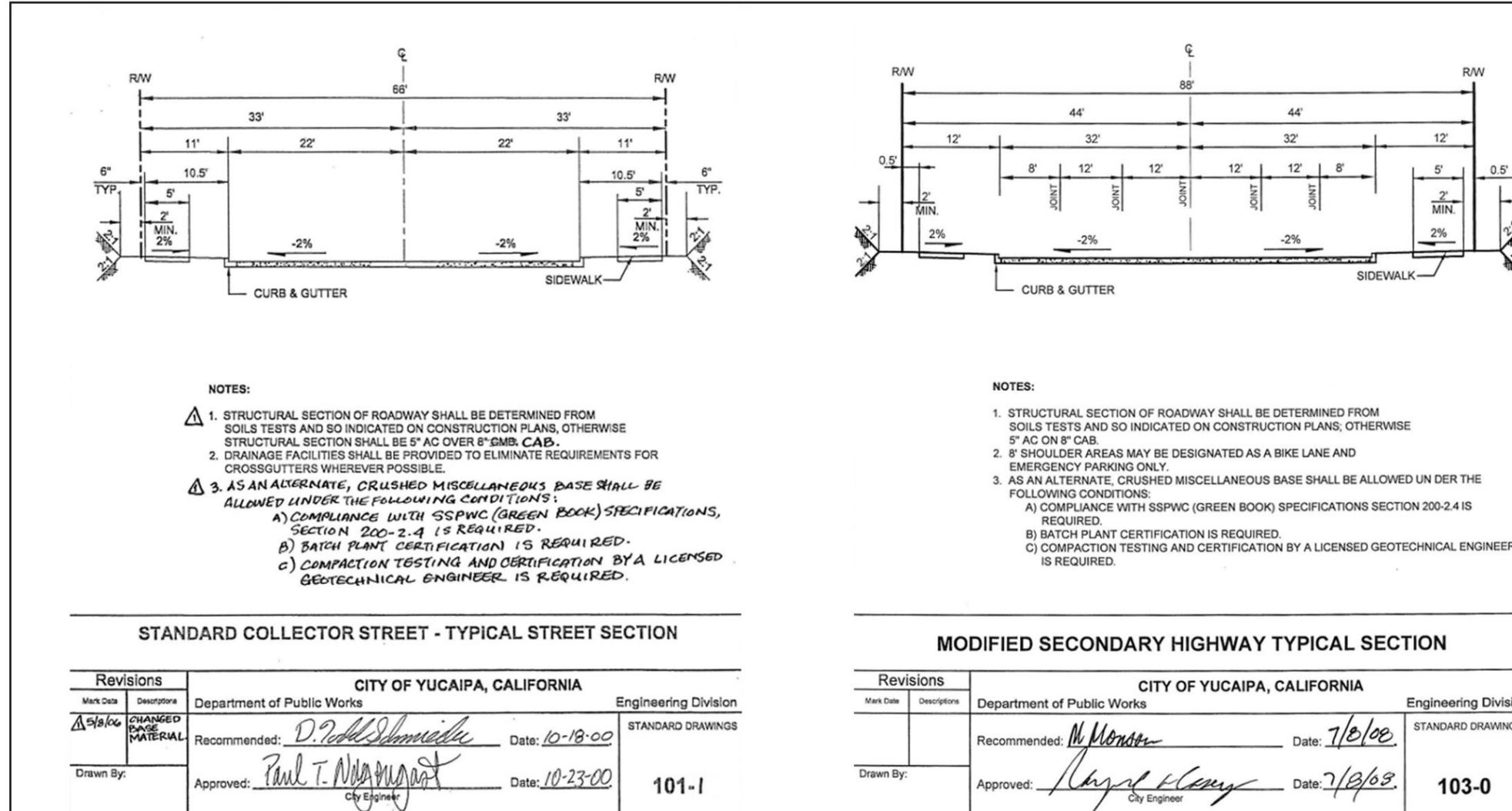


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OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

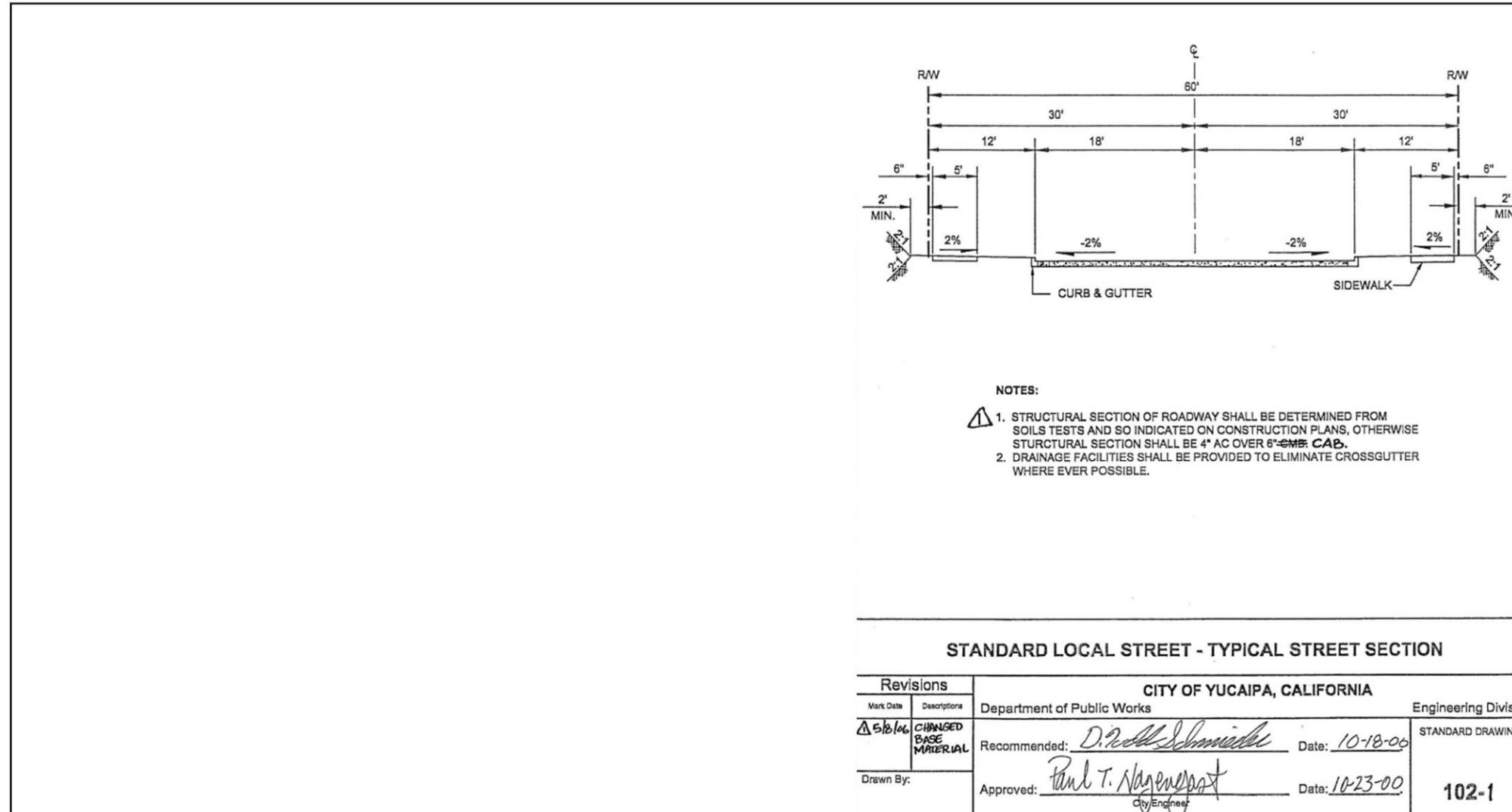
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 CITY OF YUCAIPA

Figure IV-2 Roadway Cross Sections



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Figure IV-3 Roadway Cross Sections



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OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

4. Drainage Plan and Design Standards

a) *Drainage Plan Description*

One of the primary purposes of **The Oak Glen Creek Specific Plan** is to design appropriate flood control facilities to control storm water flows from Wilson and Oak Glen Creeks and capture their storm water runoff in a designated detention area(s). The open space areas afforded by the improvement to Oak Glen Creek and the proposed installation of a detention basin, as well as the ability to utilize the shoulders of the drainage courses as multi-purpose trails that connect to the surrounding multi-purpose trails and bike paths, provide a number of opportunities for open space and recreational uses. Construction and operations within the Residential District Land Use area will convey storm water flows along public interior roadways, utilizing catch basins that will convey flows into Oak Glen Creek.

Best Management Practices (BMPs) are required for new development to improve the water quality of surface water runoff. To comply with NPDES regulations, the design volume or design flow to be treated must reduce pollutants to the Maximum Extent Practicable (MEP). **The Oak Glen Creek Specific Plan** will incorporate several types of water quality related BMPs, including grass-lined swales and volume-based BMPs to meet these regulations.

The greatest concentrations of pollutants can be found in runoff during small-volume storms and during the initial stages of large stormwater flows. Water quality features, such as grass-lined swales located within project landscape areas, will be designed to filter runoff from surface water flows to achieve the MEP. Once the project is developed and operational, general pollutants from vehicles and landscape fertilizers will occur. To address this occurrence the project will be required to meet water quality standards delineated in adopted water quality permits from the Regional Water Quality Control Board.

b) *Drainage Development Standards*

1. Drainage and flood control facilities and improvements shall be provided in accordance with and subject to the approval of the City of Yucaipa and San Bernardino County Flood Control District.
2. All project construction activities, including clearing, grading, and excavation affecting at least one (1) acre of land, must obtain the appropriate NPDES permit. Mitigation measures to adequately protect water quality include the use of vegetated swales and monitoring programs.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

3. All development within the Innovation District Land Use portion of **The Oak Glen Creek Specific Plan** shall be subject to the approval of the City of Yucaipa and San Bernardino County Flood Control District.
4. All detailed plans for internal site design and public rights of way shall be prepared by a qualified and licensed civil engineer for review by City Staff, San Bernardino County Flood Control District, and applicable decision-making agencies.
5. Prior to approval or issuance of building permits, improvement plans shall be submitted to the City's Public Works/Engineering Department for review and approval. The improvement plans shall include, but not be limited to the following:
 - Final Grading Plan.
 - Drainage Plans.
 - Hydrologic/Hydraulic Report.
 - Water Quality Management Plan (WQMP).
 - Storm Water Pollution Prevention Plan (SWPPP).
6. The master developer shall be responsible for maintenance and upkeep of all slopes and drainage systems until these operations become the responsibility of other parties.
7. The San Bernardino County Flood Control District shall be responsible for all major drainage facilities within the Open Space District, including drainage channels and detention or recharge basins.
8. The City of Yucaipa shall be responsible for the maintenance of all minor drainage facilities, including catch basins within the public street right of way and low-flow streams. The City of Yucaipa shall also be responsible for recreational facilities within the easterly portion of Oak Glen Creek and multi-purpose trails along the perimeter of the drainage facility.
9. All multi-purpose trails and recreational amenities, with the exception of those portions specifically intended for drainage and detention purposes, shall be appropriately landscaped and, where applicable, irrigated in a manner that is conducive to the type of plant material used and landscape setting.
10. Low level lighting features will be provided along the multi-use trail to enhance pedestrian safety.
11. The improvement of landscaping and recreational areas shall be phased in conjunction with applicable portions of project construction and consistent with the adopted design plans.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

5. Water, Sewer, and Recycled Facilities Plan and Design Standards

a) Water Facilities Plan Description

The **Oak Glen Creek Specific Plan** is located within the water and sewer service area of Yucaipa Valley Water District (YVWD). All water system improvements undertaken must be consistent with YVWD requirements. According to District Staff, YVWD has the ability to meet projected water demands for the proposed project. A number of waterlines currently surround the project site, varying in size from 12-inch to 30-inch, as listed below:

- 30" and 12" lines in Oak Glen Road.
- 16" and 8" lines in 2nd Street.
- 16" line in Bryant Street and near the northeast corner of the project site near the existing water reservoir.
- 8" line within a portion of Oak Glen Creek, along the Second Street alignment.

YVWD requires that all pipelines within public roadways be owned and operated by YVWD. However, pipelines within development projects or on private property must be privately owned and operated. As such, **The Oak Glen Creek Specific Plan** will need to install the backbone or public water system within public roadways and future development will be responsible for the on-site private systems.

The Oak Glen Creek Specific Plan provides for a variety of potential land uses. Since the size of future residential homes and uses within the Innovation District are unknown, the ability to identify specific water line improvements is hampered. In an effort to meet projected water needs, YVWD has recommended a range of water line sizes from 8" to 16" be installed within the public right of way, to meet domestic and fire flow requirements. This range can be narrowed once more specific development details are known. Please refer to Figures IV-4 and 5, *Water, Sewer, and Recycled Facilities Plan and Design Standards*, for the northeast and southwest residential areas.

YVWD will also require that private water systems provide separate water pipelines for potable water and fire flow purposes. As such, parallel pipelines will be required in certain portions of the project site. The private potable water system need is projected to require only two (2)-inch pipelines. All proposed private pipelines will be located within project driveways, parallel with the ultimate backbone system.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

b) Sewer Facilities Plan Description

The YVWD is responsible for the collection and treatment of wastewater. YVWD will provide sewer service to the site. Installation of sewer facilities must be consistent with YVWD requirements. YVWD has a 10-inch sewer line in Oak Glen Road, an eight (8) line that stubs out into 2nd Street north of Oak Glen Creek, and an eight (8) inch line extending south in 2nd Street from Oak Glen Creek. See Figures IV-4 and 5, *Water, Sewer, and Recycled Facilities Plan and Design Standards*. In discussions with YVWD it was thought that an eight (8) inch sewer line in public streets extending through the project site would be adequate to meet potential project needs. YVWD also recommended the sewer line connect to the existing sewer line in 2nd Street.

The Sewer Facilities Plan provides that all sewer lines within private property will be privately maintained. The private system is designed to connect to the existing and proposed sewer system in the public street system.

c) Recycled Water Plan Description

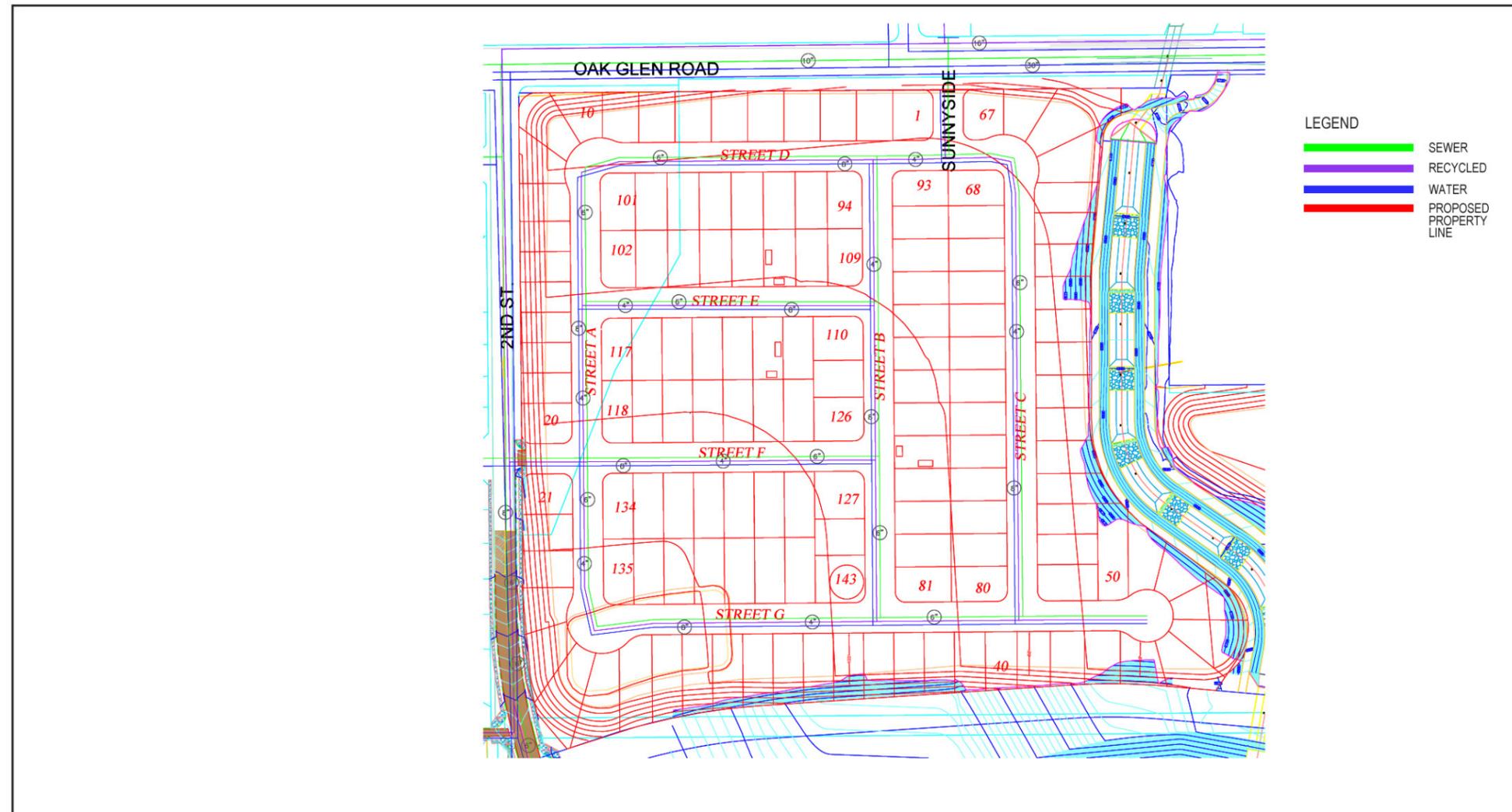
YVWD also provides recycled water to users from their treatment plant to minimize the use of potable water and provide a more efficient use of existing water resources. A 16-inch recycled waterline exists in Oak Glen Road and 2nd Street. YVWD recommends an 8-inch recycled waterline be located within public streets and laterals extend onto private property.

d) Water, Sewer, and Recycle Water Plan Development Standards

Due to the lack of detailed development plans for portions of the project area, the identification of water and sewer facilities necessary to meet project demands are difficult to fully quantify. As such, the line sizes described in the previous sections are adequate at this time in the planning process. Once greater project detail is available, the necessary line sizes can be further refined. The following requirements shall apply to all development projects.

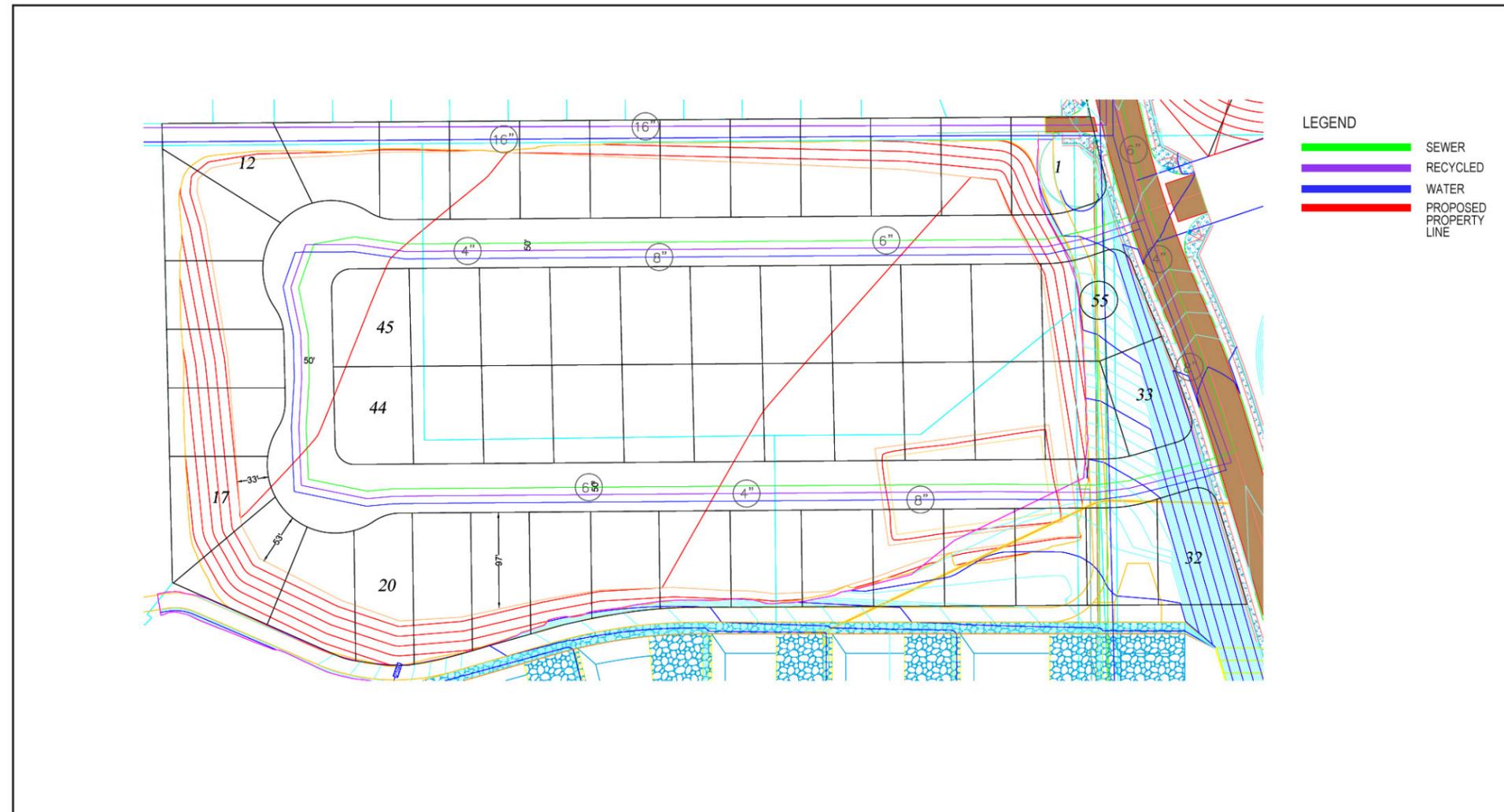
1. All water, sewer, and recycled waterlines will be placed underground.
2. All water, sewer, and recycled waterlines will be designed and installed consistent with the requirements of YVWD.

Figure IV-4 Water, Sewer, and Recycled Facilities Plan and Design Standards



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Figure IV-5 Water, Sewer, and Recycled Facilities Plan and Design Standards



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OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

6. Grading Plan and Design Standards

a) Grading Plan Description

Development within the Residential and Innovation Districts area of **The Oak Glen Creek Specific Plan** will drain into Oak Glen Creek utilizing proposed internal roadways and/or other facilities as appropriate, depending upon their proximity to the Creek. Proposed grading contours within the Residential and Innovation Districts are unknown at this time. More specific information is available with respect to the potential design features within Wilson Creek and Oak Glen Creek, due to the upstream and downstream drainage facilities that currently exist east of Bryant Street and west of 2nd Street, respectively. Storm water improvements throughout the redesigned portion of Oak Glen Creek must provide for these existing design features.

Grading within the Residential and Innovation Districts Land Use area must meet existing City requirements to ensure appropriate building pad elevations and conveyance of storm water through the site and into appropriate drainage facilities.

b) Grading Plan Development Standards

1. All grading shall be consistent with the City of Yucaipa grading standards.
2. Prior to initiating grading activities for residential development in the Residential District and future specific users in the Innovation District portion of the project site, a detailed grading plan shall be submitted to the City of Yucaipa for review and approval. As part of this material, a geotechnical report shall be required identifying potential site constraints and requirements. Upon approval of these materials a grading permit shall be issued by the City of Yucaipa.
3. Prior to initiating grading activities within the public ownership portion of the Open Space District a detailed grading plan shall be reviewed and approved by the San Bernardino County Flood Control District.
4. Prior to initiating grading activities by planned recreational uses within portions of the Open Space District a detailed grading plan shall be prepared and approved by the City of Yucaipa. As part of this material, a geotechnical report shall be included, if necessary, identifying potential site constraints and requirements. Upon approval of these materials a grading permit shall be issued by the City of Yucaipa.
5. Areas with cut and/or fill slopes greater than three (3) feet in height shall include detailed landscape and irrigation plans.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

6. Areas that are mass graded for future development, but remain undeveloped for at least 90 days, shall be landscaped with temporary plant material and adequately maintained to minimize erosion and dust.
7. The developer shall be responsible for the maintenance and upkeep of all required planting and irrigation systems until such time as those activities are the responsibility of others.
8. Water Quality Management Plan (WQMP) and Storm Water Pollution Prevention Plan (SWPPP), consistent with Federal, State, and local laws, shall be prepared and approved by the City of Yucaipa prior to issuance of a grading permit.

7. Site Maintenance Plan

a) Maintenance Plan Description

Overall site maintenance could potentially be shared between a number of separate private and/or public entities, including that portion encompassed by the Residential and Innovation Districts and the area involving the San Bernardino County Flood Control District and City of Yucaipa within public rights of way and Open Space Land Use areas. The private developable portion of the project within the Residential and Innovation District Land Use areas will require a consistent level of quality maintenance by a possible combination of private and public users.

The San Bernardino County Flood Control District would be the entity responsible for the maintenance of the flood control and drainage facilities for both Wilson Creek and Oak Glen Creek. Maintenance of the recreation and open space areas and multi-purpose trails shall be undertaken by the City of Yucaipa, consistent with the existing agreement between the City of Yucaipa and San Bernardino County Flood Control District.

b) Residential and Innovation District Areas

It is probable that the owner(s) within the Residential and Innovation District Land Use areas would utilize management companies or associations to undertake appropriate operational and maintenance activities for buildings, structures, interior driveways and parking areas, and landscape areas. Maintenance of the public roadways shall be the responsibility of the City of Yucaipa, but right of way landscaping is the responsibility of the adjoining property owner.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

C. PROCESSING PROCEDURES

A Specific Plan can provide unique processing procedures tailored to meet the needs of a proposed project. In this instance the approval of **The Oak Glen Creek Specific Plan** and individual development projects on separate parcels within the project site would follow the current City approval procedures provided in the *Yucaipa Development Code*. A general outline of those procedures has been provided below. Any modification to the City's standard procedures provided for within the Yucaipa Development Code shall represent a concurrent change in the procedures utilized for processing development plans within this **Specific Plan**.

1. Specific Plan Approval Procedures

The approval of this **Specific Plan** will require the following discretionary actions by the Planning Commission and City Council:

- ✓ Adoption of an Environmental Impact Report, consistent with the California Environmental Quality Act (CEQA).
- ✓ Adoption of a resolution approving this **Specific Plan** to permit the use of the development criteria contained in the Plan.
- ✓ Approve an ordinance amending the Official Land Use District Map and Zoning Ordinance.

2. Subsequent Development Plan Approval Procedures

Subsequent development actions that could occur as part of the development of this site include the following:

- ✓ Approval of a subdivision map to create parcels and lots sizes consistent with the criteria of this **Specific Plan**. A private applicant or the City of Yucaipa may initiate the subdivision process in order to facilitate the creation of individual parcels for sale to future developers. Future developers/users may wish to further subdivide portions of these parcels into smaller lots for future sale and development and/or to create individual air space ownership for businesses within larger structures, similar to a condominium style development.
- ✓ Approval of a Planning Use Permit/Conditional Use Permit for development of individual uses.

Each of these actions will require compliance with the Procedures specified in the Yucaipa Development Code.

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

3. Determination of Plan Consistency

Minor Variations

A variation in project design can occur due to a number of issues, such as a desire to provide a different design style, building arrangement, or vehicle ingress/egress points to meet the needs of future users. Some deviation from the provisions of this **Specific Plan** is permitted and shall be deemed minor and, as such, would be consistent with the provisions described in the text and illustrations. If future development projects contain minor variations from the provisions of this **Specific Plan**, but are consistent with the parameters listed below, an amendment to the **Specific Plan** is not required. The Director of Community Development shall be responsible for reviewing and determining minor variations with the adopted Plan.

Proposed differences with the criteria contained within **Specific Plan** shall be minor provided they maintain the following features:

- Project land uses remain consistent with the range of adopted land uses, as specified in the Residential, Innovation, and Open Space Land Use District categories contained in Table IV-2, Allowed Land Uses.
- Open space and potential recreational areas are modified from that currently planned, but remain of similar size and nature, although their location within the project area may vary.
- The architectural design is modified from that identified in Table V-1, Innovation District Style and Design Criteria, but is consistent with the adopted thematic design provided for in the Design Guidelines.

Once a Site Plan is deemed inconsistent with the current **Specific Plan** provisions, either an amended **Specific Plan** must be prepared and processed through the Planning Commission and City Council for approval, consistent with applicable City procedures or the proposed project must be modified.

Should a development plan be found inconsistent with the provisions of this section, the applicant or developer may appeal the Director's findings to the Planning Commission, consistent with the provisions of the Yucaipa Development Code. The findings of the Planning Commission may also be appealed to the City Council.

D. IMPLEMENTATION PLAN

1. Financing Methods

The development of **The Oak Glen Creek Specific Plan** requires the financing of various construction improvements. A number of methods are available to

OAK GLEN CREEK SPECIFIC PLAN

Section IV Specific Plan

achieve this need utilizing either private or public financing. Private funding can include obtaining loans from various types of lending institutions, property owner financed loans or funding from individual project investors. Public financing includes a wide range of actions, including improvement district financing, assessment districts or direct municipal funding of improvements, such as road widening funded through development impact fees or budgeted roadway funds.

At this time it is the intent of the project to use a combination of private and public funding to create the backbone infrastructure elements within the Residential and Innovation Districts portion of the Specific Plan, along with the flood control and detention facilities for Wilson Creek and Oak Glen Creek. Backbone infrastructure systems will include public street improvements and landscaping; public water, sewer, and recycled water lines within interior roadways; storm drain lines; and; landscaping and monument signs at the project entries. Public funding may include grant money from the U.S. Economic Development Agency, along with capital improvement funds from the City of Yucaipa and San Bernardino County Flood Control District. Assessment districts are not currently contemplated for use as part of site project.

Beyond the installation of the backbone system and other public facilities, private funding is the probable method for the development of the balance of the project area.

2. Proposed Phasing

a) *Project Phasing and Facility Installation*

The Oak Glen Creek Specific Plan is not separated into distinctive phases in which specific tasks must be completed as a prerequisite for subsequent action. Rather the project will consist of general development areas that may occur in tandem with other development activities or individually, depending upon funding or other factors. The reason for the lack of defined phases is two (2) fold. First, the project site is generally divided between the Residential District and Innovation District portion involving conventional development on the more northerly portions of the project site and the Oak Glen Creek and Wilson Creek Open Space area generally on the southerly portion of the site. It is possible for portions of the project to proceed independently from one another and as such, a variety of improvements may occur at any one time. For example, when the first developer is identified in the Residential District portion of the site typical construction activity would ensue to provide required on-site and off-site improvements. The extent of those improvements may vary, depending upon the project's size and location.

Second, the City of Yucaipa desires flexibility in undertaking the most important improvements at any one time, depending upon a variety of factors, such as the

OAK GLEN CREEK SPECIFIC PLAN
Section IV Specific Plan

timing of agency funding, the amount of funding available, and developer interest and cooperation.

b) *Development Standards*

- 1) Prior to the recordation of each final subdivision map, applicable facilities shall be installed or improvement bonds shall be secured to serve that portion of the project.
- 2) Where necessary, additional off-site facilities shall be installed when appropriate to provide for future development areas and when it would reduce potential disturbance with existing development.
- 3) Facilities shall be designed and installed consistent with applicable design criteria of the City of Yucaipa, Yucaipa Valley Water District, and San Bernardino County Flood Control District.
- 4) Facilities that provide additional benefit to other development projects shall be subject to a reimbursement agreement.

3. Maintenance of Public and Private Facilities

The maintenance of infrastructure facilities located within the public domain will be the responsibility of their respective agencies, such as Yucaipa Valley Water District for water, sewer, and recycled facilities; City of Yucaipa for public roadways, multi-purpose trails, minor drainage facilities, and open space recreational use, and; the San Bernardino County Flood Control District for major drainage facilities. Funding for the maintenance of these facilities will occur through the use of service charges, taxes, or other funding mechanisms.

On-site responsibility for all common facilities, such as water and sewer pipelines, private driveways, and structures would be the responsibility of the property owner, developer or maintenance association, as described in Section IV.B.7. Funding for the maintenance of these facilities will occur through the collection of fees or the payment of individual rents or leases.

V. DESIGN GUIDELINES

This section of the **Specific Plan** provides criteria for those design features that provide for the unifying elements of the project, such as specific requirements for architectural features, landscape components, and signage/monumentation criteria. Incorporated within this section are sample architectural designs reflecting the types of features desired within the project area.

A. LAND USE AREA DESCRIPTIONS AND DESIGN FEATURES

1. Residential District

Design Features

It is envisioned the project will incorporate established themes that reflect recognizable attributes from well-known styles, including but not limited to Mediterranean, Craftsman, Spanish, Ranch or Colonial. Sample architectural styles in this section (See exhibits provided in Section V, *Residential Designs*) provide an overview of the themes and materials that can be used within the Residential District. It is not required that specific themes be identified within the project area, but they are preferred. The important components of any selected design need to incorporate the character and materials portrayed through the sample styles. The end result is intended to distinguish the area from other residential development in its quality and design.

Primary access into this portion of the project site is provided from Oak Glen Road and 2nd Street. The design of entry signs and perimeter walls are displayed in Section V, *Signs and Wall Designs*.

2. Innovation District

Design Features

The Innovation District is divided into two separate areas with restricted development potential. As such, typical design scenarios that incorporate plazas with pedestrian interaction areas or large office/business parks with numerous buildings and vast expanses of parking are not applicable to the development potential of these two areas. However, it is the intent of this **Specific Plan** to provide design parameters for future development that will enhance the use of buildings within this District. Similar to that provided above in the Residential District, sample architectural styles (See exhibits provided in Section V, *Commercial Designs*) have been included to display the types of elements that are discussed in Table V-1, *Innovation District Style and Design Criteria*.

OAK GLEN CREEK SPECIFIC PLAN
Section V Design Guidelines

Table V-1
Innovation District Style and Design Criteria

Building Design	Articulation/Façade	Materials, Texture and Colors	Rooflines, Entries, Windows, and Doors
<ul style="list-style-type: none"> • All sides of the building shall provide unique design treatments. • No large blank walls are allowed on any side of any structure. • To offset structure mass, divide exterior walls into smaller spaces that reduce height and bulk through a change in roof or wall plane or the installation of projecting elements • Exterior materials shall be durable and resistant to vandalism and weather damage. • Identified styles, such as craftsman, are useful in creating varied building texture and character. • Design features should be integrated and avoid a “tacked on” look.+ 	<ul style="list-style-type: none"> • Use architectural details and materials on lower walls that relate to human scale, such as arches, trellises, or awnings. • Use architectural elements to create shadow patterns that create character, such as overhangs, projections, trellises, varied materials/ texture, awnings, or insets. • Utilize entry areas and windows to create varied façade design. The use of exterior louvers for screening is permitted. • Contrasting colors are encouraged to accentuate details and aid in the creation of visual changes in façade design. • Pre-cast walls shall incorporate elements to articulate exteriors; e.g., reveals, recessed panels, recessed windows, and/or moldings to articulate the façade’. 	<ul style="list-style-type: none"> • When appropriate for the architectural style, materials, texture, and style shall vary between the base and body of the structure to break-up large wall planes. • Large areas of smooth finish concrete wall panels shall be enhanced with some form of texture. • Other materials may be substituted for those previously identified, if they reflect the selected architectural style. • Natural colors, such as those found in nature are encouraged. • Contrasting colors are encouraged to accentuate details and create visual changes in façade design. • Fluorescent paints and bright colors are strongly discouraged. • Large expanses of highly reflective surfaces or mirror glass should be avoided. • The use of metal exterior siding on buildings is not permitted. 	<ul style="list-style-type: none"> • Fully screen roof-mounted equipment from public view. Wrap around parapets are permitted. • Provide roof overhangs to shade structures and reduce heat loss. • Vary roof lines and/or roof line features to reduce building bulk. • Enhance doors and windows by the use of accent trim, color, or recessed to provide depth and shadow. • Window type, material, shape, and proportion shall complement building style and break up wall planes. • Appropriate window insets shall be provided. • Emphasize structure entrances by using lighting, landscaping, and architectural design. • Entry design should enhance building design.

OAK GLEN CREEK SPECIFIC PLAN
Section V Design Guidelines

B. LANDSCAPING DESIGN CRITERIA

This section provides a general description of the landscape features to be provided within this **Specific Plan** area. Due to the types of land uses proposed and their location it is envisioned that several types of landscape features will be employed.

Northerly Residential District

The northerly Residential District is located east of 2nd Street and has frontage upon 2nd Street and Oak Glen Road. Oak Glen Road is a Secondary Highway, 88 feet right of way, and designated a City Scenic Highway in the City's Transportation Element of the General Plan. The northerly portion of 2nd Street is designed as a Collector Street, 66 feet right of way that will transition to a 60 feet right of way. Oak Glen Road has an existing landscape design easterly of 2nd Street that would be continued with similar features along the project frontage. Parkways shall be planted with shade trees to provide a pleasant pedestrian environment and contribute to streetscape continuity. Both roadways will be landscaped in accordance with an identified theme selected by the project developer and approved by the City of Yucaipa.

Scenic Highway landscaping measures would include the use of:

- Automatic irrigation systems with moisture sensors installed to ensure plant material survives.
- Provide root barriers when trees are planted five feet or closer to any hardscape element (e.g., curbs, sidewalks, other paving, etc.) or structure. The distance shall be measured from the center of the tree trunk to the nearest hardscape or structure.
- Flowering trees and fruit-bearing trees shall be avoided on pedestrian parkways and ADA path of travel areas to maintain clear passageways.

Buffering Features

Buffering shall be provided along 2nd Street to minimize lights and noise emanating from vehicle turning movements entering and exiting the adjoining subdivision. This design may incorporate a raised landscape berm and the possible addition of a block wall on the berm, depending upon its height.

Southerly Residential District

That portion of the Residential District west of 2nd Street has limited frontage upon existing area roadways and therefore would primarily provide landscaping internal to the project area, adjacent to existing front yards and driveways.

OAK GLEN CREEK SPECIFIC PLAN
Section V Design Guidelines

Internal roadways will be landscaped in accordance with an identified theme selected by the project developer and approved by the City of Yucaipa.

Innovation District

Landscaping within the Innovation District will be primarily oriented towards the internal portions of the project site.

- A landscape strip shall be planted adjacent to the building edge. The landscape strip shall be directly adjacent to the building edge to create a buffer and help to prevent graffiti.
- Groundcover shall be installed in landscaped areas to provide a finishing treatment, as well as provide erosion and weed control.
- Mulch, bark, and stone/rock cover shall not be used as an alternative to groundcover.
- Turf shall be used only when it serves a specific function. Turf areas shall be minimized to conserve water.
- Landscaping elements in the front yard setback shall incorporate drought tolerant materials.
- Trash enclosures shall comply with City standards and screened with landscaping.

C. SIGN DESIGN CRITERIA

The following provisions identify the overall requirements for future project signs.

1. Sign locations. Signs in the restricted sidewalk/landscape easement shall not interfere with pedestrian movement or visibility along sidewalks. Signs shall not block motorist's visibility along the sidewalk, roadway or sight lines at entry driveways and circulation aisles are not blocked.
2. Base for monument style signs. Provide a solid architectural base that supports the sign and is comprised of traditional materials (e.g., stone, brick, etc.)
3. Materials and colors. Incorporate materials and colors into the sign support structure to match or be compatible with materials and colors typical of the project theme.
4. Proportion. Signs shall be in proportion to the size of the area in which they are located.
5. Design elements. Keep the design elements (e.g., base, side supports, sign panel area, and any roof-like features) in proportion with one another.
6. Screening. Electrical transformer boxes, electrical raceways, and conduits shall be concealed from view.

OAK GLEN CREEK SPECIFIC PLAN
Section V Design Guidelines

7. Illumination. Signs shall be illuminated by a direct source or light and not internally illuminated. Light shall not spillover onto the right-of-way or into adjacent residential areas.
8. Prohibited materials and signs. Freestanding pylon signs and roof mounted signs are prohibited. Internally illuminated cabinet-style signs with translucent panels or panels with reflective surfaces, including but not limited to acrylic, fiberglass, plastic or metal are prohibited.

D. WALL DESIGN CRITERIA

The following provisions identify the overall requirements for future project walls. Walls, fences, and screening shall be made of materials commonly found in rural landscapes.

1. Fences and walls shall be constructed of authentic materials (natural woods, common brick, stone, river rock, clinker brick, and wooden beams, for example). Vinyl and other manufactured fencing materials may be acceptable if the overall look appears authentic.
2. Non-transparent perimeter walls and/or fences shall provide decorative columns or pilasters to provide relief and incorporate landscaping.
3. Walls on sloping terrain shall be stepped to follow the terrain.
4. Screen walls shall not be located where the wall blocks the sight lines of drivers entering, leaving or driving through the project site.
5. Wrought iron fencing is acceptable for residential view properties and for commercial security purposes.
6. Chain link fencing shall not be permitted.

RESIDENTIAL DESIGNS



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PLAN 3 - ELEVATION "A"

PLAN 1 - ELEVATION "A"

PLAN 2 - ELEVATION "A"

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COMMERCIAL DESIGNS

OAK GLEN CREEK SPECIFIC PLAN
Section V Design Guidelines

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SIGNS AND WALL DESIGN

OAK GLEN CREEK SPECIFIC PLAN
Section V Design Guidelines

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VI. GENERAL PLAN ANALYSIS

This section of the **Specific Plan** provides an analysis of the project's consistency with the goals and policies of the City's General Plan. The City of Yucaipa recently completed a comprehensive update to the City's General Plan. The Land Use Map remained very similar with minor land use changes, primarily in the westerly portion of the City. The proposed land uses for the subject property have not changed from those displayed on the previous General Plan.

A. GENERAL PLAN MAP FEATURES

1. Land Use District Map

The City of Yucaipa has several exhibits that identify the City's ultimate land use plan. The Land Use Plan, exhibit CDL-2, identifies City's land use pattern, with identified land use categories, such as Single Residential, General Commercial, Institutional, and Open Space. The subject property is specifically designated IN (Institutional), RS-72C (Single Residential, 7,200 sq. ft. minimum lot size), RL-1 (Rural-Living, one acre minimum lot size). The General Plan Land Use Modifications Map, exhibit CDL-3, General Plan Land Use Modifications Overlay Districts, identifies the subject property as Oak Glen Creek Specific Plan.

Consistency

The proposed project will be consistent with the General Plan Land Use Modifications Overlay Districts Map upon adoption of the proposed Specific Plan.

2. Land Use Modifications Overlay District

In addition to the Land Use Map described above, the City also has a Land Use Modification Overlay Districts, Figure CDL-3, that displays the various adopted and proposed Specific Plans and Overlay Districts. The subject property is designated Oak Glen Creek Specific Plan on this exhibit.

Consistency

The proposed project is the Oak Glen Creek Specific Plan that includes single family residences, office/medical/commercial type uses, and open space uses.

B. GENERAL PLAN GOALS AND POLICIES

The City's General Plan has seven (7) Elements that incorporate Community Design and Land Use (CDL) ; Housing and Neighborhoods (HN); Parks, Recreation, Trails and Open Space (PR); Economic Development (ED); Transportation (T); Public Safety (S); and; Public Services and Facilities (PSF).

OAK GLEN CREEK SPECIFIC PLAN
Section VI General Plan Analysis

Goals and Policies of the General Plan that are applicable to the proposed project are listed below.

1. Community Design and Land Use

CDL-1.1 **Places to Live.** Provide sites for a range of housing types, locations, and densities in a variety of neighborhood settings equipped with amenities that support a high quality of life.

Response: The proposed project will provide a new residential neighborhood that includes the close proximity of open space amenities, such as trails and passive recreational use associated with open space areas within Wilson Creek and Oak Glen Creek.

CDL-1.4 **Places for Recreation and Conservation.** Provide parks, recreational facilities, and multi-functional open spaces in sufficient quantities and in a manner that is consistent with the Emerald Collar articulated in the Parks, Recreation, Trails, and Open Space Element.

Response: The project site is situated across the street from the City's Community Park and Sports Complex and traversed by Wilson Creek and Oak Glen Creek. The Emerald Collar reference contained in the General Plan identifies these features as part of the City's open space and recreational areas. The primary purpose of the proposed project is to improve Oak Glen Creek and Wilson Creek to facilitate flood control protection and groundwater management. The proposed drainage courses will incorporate trails and passive open space areas as part of their flood control features.

CDL-1.5 **Transportation System.** Develop and maintain a transportation system that is closely coordinated with land use planning decisions, moves people and goods efficiently and safely, and is designed to accommodate and promote scenic viewsheds.

Response: The proposed project will not affect the existing transportation or roadway system, because the existing master planned roadways adjoining the project site, Oak Glen Road and Bryant Street, are fully improved. 2nd Street, which is not a master planned roadway, will be extended further south, but not provide an additional connection to the existing street system. The proposed project will have access to existing Oak Glen Road, 2nd Street and Bryant Street. However, the project has been redesigned to eliminate the

OAK GLEN CREEK SPECIFIC PLAN
Section VI General Plan Analysis

extension of Eucalyptus Avenue through the property such that it does not link 2nd Street and Bryant Street.

CDL-4.5 **Scenic Corridors.** Protect designated scenic corridors (Yucaipa Boulevard, Live Oak Canyon, Oak Glen Road, Wildwood Canyon Road, and Bryant Street) by adhering to development requirements in the municipal code and polices in the General Plan.

Response: The proposed **Specific Plan** utilizes the City of Yucaipa Development Code as the existing foundation document for development criteria and procedures and includes additional design requirements and standards to enhance particular aspects to achieve a high quality development. The proposed project fronts upon Oak Glen Road, which is a City designated scenic roadway. Oak Glen Road right of way improvements will need to provide landscape features consistent with the City's Development Code, in addition to those provisions provided for with this **Specific Plan**.

CDL-4.5 **Development Review.** Require enhanced review for projects along scenic corridors and other areas where projects could impede designated viewsheds. Review projects for compliance with building setbacks, signage, and site-oriented regulations.

Response: The proposed project is being evaluated as part of an environmental impact report (EIR) that will include an analysis of area viewsheds.

CDL-5.7 **Neighborhood Quality.** Require existing residential neighborhoods and nonresidential districts to be preserved, protected, and enhanced in an effort to maintain quality living and working environments for residents, businesses, and investors.

Response: The proposed project has been designed to provide land use compatibility with the surrounding single family residential neighborhoods to the west and south. In addition, the roadway design has been modified to provide a cul-de-sac for 2nd Street and a minimal extension of Eucalyptus Avenue through the project site. Area residents believed the extension and connection of these roadways to the surrounding roadway system would have provided additional neighborhood traffic and disrupted the scenic view of the area.

OAK GLEN CREEK SPECIFIC PLAN
Section VI General Plan Analysis

CDL-10.9 **Building Materials.** Use high-quality, natural building materials that evoke a sense of quality and permanence, such as stucco, plaster, stone, and wood; natural colors and textures are preferred.

Response: The proposed Specific Plan does not require the use of recognized design styles, such as Craftsman or Mediterranean, but does identify the need to incorporate the types of materials typically used in those styles, which include stone, wood, and stucco.

CDL-10.12 **Architectural Detail.** While recognizing sensitivity to budget, require publicly visible sides of a building to contain architectural detail and façade articulation, strong patterns of shade and shadow, and integrated architectural detail; blank walls are discourage.

Response: As noted previously, the **Specific Plan** does recommend the use of identified styles and materials. Also provided in the **Specific Plan** are exhibits that display various architectural styles for residential and commercial buildings.

2. Housing and Neighborhoods

NH-1.3 **Public Services and Infrastructure.** Provide quality community facilities, parks and recreational options, infrastructure, water and sanitation, and other municipal services tailored to neighborhoods.

Response: The primary purpose of the proposed project is to realign and improve Wilson Creek and Oak Glen Creek for flood control and groundwater management. Wilson Creek will be channelized and realigned to provide a more regularly shaped development area to the west. Wilson Creek channel will include a multi-purpose trail that represents a continuation of the existing trail that extends north of Oak Glen Road. Oak Glen Creek will also include trails and passive open space areas for recreational use. The Residential and Innovation development areas will require the installation of properly sized infrastructure facilities, such as water and sewer pipelines, roadways, and utilities that are appropriate for those uses.

HN-3.1 **Design Features.** Require new and rehabilitated residential units to be well designed, with appropriate attention to site planning, materials and colors, building treatments, landscaping, open space, parking, and environmentally sustainable practices.

OAK GLEN CREEK SPECIFIC PLAN
Section VI General Plan Analysis

Response: The previous responses to CDL-10.9 and 10.12 identify the type of materials and architecture provided within this **Specific Plan**. These responses provide an overview of the residential project features and the project's intent to be well designed. Although the residential development portion does not directly incorporate open space areas, such as paseos or playgrounds, the residential areas are adjacent to planned open space areas with a number of trails, connections to adjacent multi-purpose trails, and passive use areas.

3. Parks, Recreation, Trails, and Open Space

PR-3.2 **Trail Access.** Trails that navigate through residential neighborhoods shall be designed to be unobtrusive, respect the privacy of bordering residences, and not detract from the safety of neighborhoods.

Response: The proposed **Specific Plan** provides for the continuation of existing Wilson Creek trail south of Oak Glen Road and new trails within Oak Glen Creek, including a master planned trail provided for within the City's General Plan, generally along the alignment of Eucalyptus Avenue.

PR-4.5 **Creek Preservation and Restoration.** Protect the integrity of natural drainage channels; secure grants and support to restore and preserve Yucaipa's creeks in a naturalized state for aesthetic, recreational, and wildlife value to the extent practical.

Response: The proposed improvements within Oak Glen Creek include trail and passive recreational uses that are compatible with the flood control design of the facility.

PR-5.5 **Channels and Creeks.** While completing necessary safety improvements, preserve the ecological integrity of watersheds and creek corridors that support riparian and wildlife resources by restoring native plants and other best practices to the extent practical.

Response: The proposed design of both Wilson Creek and Oak Glen Creek will incorporate appropriate features to ensure maintenance of biological resources, to the extent practical.

PR-6.6 **Native American Consultation.** Continue to offer and conduct consultations with the Native American Heritage Commission on development proposals in accordance with state and federal law.

OAK GLEN CREEK SPECIFIC PLAN
Section VI General Plan Analysis

Response: The Native American Heritage Commission has been notified of the proposed project as required by applicable legislation contained in SB 18 and AB 52. Requests for consultation, as provided by both pieces of legislation have been provided to applicable Tribes.

4. Transportation

T-1.1 **Roadway Buildout.** Complete the circulation system by constructing or improving roadways consistent with Figure T-1; allow modified standards where appropriate to allow for transit, bicycle facilities, sidewalks, and on-street parking to be sensitive to adjacent land uses, districts, and roadway users.

Response: The proposed project is adjacent to Secondary Highways (Oak Glen Road and Bryant Street) identified on Figure III-3. However, the roadway section of each street is fully improved.

T-5.6 **Scenic Corridor Treatment.** Consider special scenic highway treatment, such as highway directional signs, guardrails and fences, provision of scenic outlooks, and appropriate lighting, where feasible.

Response: The proposed **Specific Plan** reflects the Development Code requirement to improve Oak Glen Road as a scenic highway. Landscape improvement plans must be submitted for review and approval, consistent with City standards.

5. Public Safety

S-1.2 **Geotechnical Analysis.** In areas within the City's Geologic and Seismic Hazards Overlay District or as required by the Building Official, require development proposals to include a geotechnical hazard analysis.

Response: The project site is not within a Geologic and Seismic Overlay District. However, several geologic investigations of the project site were conducted due to a concern that a potential hidden fault might exist through the project site. However, both evaluations found no geologic fault on the property.

S-2.2 **Floodplain Development.** Promote the dedication of land within the 100-year floodplain and adjacent areas for park, multi-purpose trails, recreational uses, open spaces, and habitat conservation/mitigation.

OAK GLEN CREEK SPECIFIC PLAN
Section VI General Plan Analysis

Response: As noted in the prior responses to PR-3.2 and 4.5, multi-purpose trails are proposed through the project site, along with areas for passive recreation and open space uses.

S-6.5 **Development Patterns.** Locate new development in areas where noise levels are appropriate for the use. Limit development of noise-producing uses adjacent to noise-sensitive receptors and require that noise-producing land uses have adequate mitigation.

Response: The proposed project is not a noise producing use, but is located adjacent to single family residential neighborhoods, which are noise-sensitive receptors. The proposed single family and open space uses adjoining these existing residential areas are an appropriate and compatible land uses. The Innovation District located at the easterly edge of the project site is relatively small in size and not expected to adversely affect nearby residences due to the limited nature of the uses permitted.

6. Public Services and Facilities

PSF-5.8 **Groundwater Management.** Continue to pursue capital projects that stabilize groundwater levels, recharge the aquifer, and ensure water demands do not exceed the sustainable groundwater supply.

Response: The proposed project is primarily intended to provide flood control related improvements. As part of that effort, the project has been designed to include a basin that will detain a portion of storm water flows and provide for percolation and replenishment of the groundwater basin.

PSF-7.6 **Service Levels.** Continue to offer professional, high-quality service that meets the needs of residents and businesses; function efficiently and professionally in operations and public activities; use revenues and resources in a cost-effective manner.

Response: The proposed project will improve the City's drainage system and reduce the potential for downstream flooding. Existing water and sewer pipelines are located adjacent to the project site and community facilities, such as Yucaipa Community Park across Oak Glen Road. Fire and law enforcement services are also close to the project site due to the existence of Station No. 1 along the project's easterly edge and the site's location adjacent to existing residential neighborhoods and major streets that will place it along regular patrol routes for law enforcement.